

Economic Development Queensland

Bowen Hills Priority Development Area Development Scheme

Proposed Amendment

For Public Notification



Queensland
Government

Copyright

This publication is protected by the Copyright Act 1968.

Licence

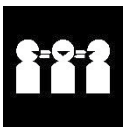


This work, except as identified below, is licensed by Economic Development Queensland under a Creative Commons Attribution-No Derivative Works (CC BY-ND) 4.0 Australia licence. To view a copy of this licence, visit: <http://creativecommons.org.au/>

You are free to copy and communicate this publication, as long as you attribute it as follows:

© Economic Development Queensland, September 2026.

Third party material that is not licensed under a Creative Commons licence is referenced within this document. All content not licensed under a Creative Commons licence is all rights reserved. Please contact Economic Development Queensland, the copyright owner, if you wish to use this material.



The Queensland Government is committed to providing accessible services to Queenslanders of all cultural and linguistic backgrounds. If you have difficulty understanding this publication and need a translator, please call the Translating and Interpreting Service (TIS National) on 13 14 50 and ask them to contact Economic Development Queensland on (07) 3452 7880.

Disclaimer

While every care has been taken in preparing this publication, to the extent permitted by law, the State of Queensland accepts no responsibility and disclaims all liability (including without limitation, liability in negligence) for all expenses, losses (including direct and indirect loss), damages and costs incurred as a result of decisions or actions taken as a result of any data, information, statement or advice, expressed or implied, contained within. To the best of our knowledge, the content was correct at the time of publishing.

Any references to legislation are not an interpretation of the law. They are to be used as a guide only. The information in this publication is general and does not take into account individual circumstances or situations. Where appropriate, independent legal advice should be sought.

Copies of this publication are available on our website at www.edq.qld.gov.au and further copies are available upon request to:

Economic Development Queensland
GPO Box 2202, Brisbane, Queensland 4001.
1 William Street Brisbane Qld 4001 (Australia)
Phone: (07) 3452 7880
Email: contact@edq.qld.gov.au
Web: www.edq.qld.gov.au

Table of Contents

1	Introduction	6
1.1	Economic Development Act	6
1.2	Priority Development Area	6
1.3	Application of the Development Scheme	6
1.4	Content of the Development Scheme	6
2	Land Use Plan	9
2.1	Components	9
2.2	Development Assessment Procedures	10
2.3	PDA Vision	13
2.4	Structural Elements	14
2.5	PDA-wide Criteria	16
2.6	Zone Provisions	26
2.7	Precinct Provisions	54
3	Infrastructure Plan	62
3.1	Purpose	62
3.2	Relation to Development Charges and Offset Plan	62
3.3	Infrastructure Networks	62
3.4	Infrastructure Categories	62
3.5	Infrastructure Charges, Funding and Conditions	67
3.6	Infrastructure Agreements	67
3.7	Infrastructure Standards	67
4	Implementation Strategy	68
4.1	Place Management	68
4.2	Connectivity	68
4.3	Infrastructure Planning and Delivery	69
4.4	Conservation and Adaptive Re-use of Heritage Buildings and Places	69
5	Schedules	70
5.1	Schedule 1: Categories of Development	70
5.2	Schedule 2: PDA Accepted Development	73
5.3	Schedule 3: Transport, Access, Parking and Servicing	76
5.4	Schedule 4: Definitions	78
5.5	Schedule 5: Heritage Places	79
5.6	Schedule 6: Amendments	81

List of Maps

Map 1: PDA Boundary (Cadastral).....	7
Map 2: PDA Boundary (Aerial)	8
Map 3: Structure Elements Plan	15
Map 5: Heritage Places	23
Map 6: Sub-surface Transport Infrastructure	24
Map 7: Point Source Pollutants	25
Map 8: Zone Plan.....	26
Map 9: Precinct Boundaries.....	55
Map 10: Precinct 1 Plan	58
Map 11: Precinct 2 Plan	61

List of Tables

Table 1: Land Use Plan Components and Relationships.....	9
Table 2: Acceptable Outcomes – Built Form	27
Table 3: Acceptable Outcomes – Urban Design	29
Table 4: Acceptable Outcomes – Built Form	30
Table 5: Acceptable Outcomes – Urban Design	32
Table 6: Acceptable Outcomes – Built Form	34
Table 7: Acceptable Outcomes – Urban Design	38
Table 8: Acceptable Outcomes – Built From	43
Table 9: Acceptable Outcomes – Urban Design	44
Table 10: Acceptable Outcomes – Built Form.....	45
Table 11: Acceptable Outcomes – Urban Design.....	47
Table 12: Acceptable Outcomes – Built Form.....	49
Table 13: Acceptable Outcomes: Urban Design.....	50
Table 14: Acceptable Outcomes – Built Form.....	52
Table 15: Acceptable Outcomes – Urban Design.....	52
Table 16: Precinct 1 Provisions.....	56
Table 16: Precinct 2 Provisions.....	59
Table 18: Infrastructure catalogue for the Bowen Hills PDA	64
Table 19: Categories of Development	70
Table 20 PDA Accepted Development	73
Table 21: Transport, Access, Parking and Servicing	76
Table 22 Heritage Places	79
Table 23 Amendments List	81

List of Figures

Figure 1: Built form provisions – Medium density residential zone	27
Figure 2: Built Form Provisions – High Density Residential Zone	31
Figure 3: Built Height and Envelope Provisions – Mixed Use Zone	35
Figure 4: Options for the placement of communal open space and facilities	37
Figure 5: Building Form, Scale, Bulk and Articulation	38
Figure 6: Ground Level Treatment for Non-residential Uses	39
Figure 7: Ground Level Treatment for Residential uses	40
Figure 8: Podium Treatment for Non-residential Uses	41
Figure 9: Podium Treatment for Residential uses	41
Figure 10: Built Form Provisions - Industrial Zone	43
Figure 11: Built Form Provisions – Mixed Industry and Business Zone.....	45

1 Introduction

1.1 Economic Development Act

The *Economic Development Act 2012* (ED Act)¹ establishes the Minister for Economic Development Queensland (MEDQ) as a corporation sole to exercise the functions and powers of the ED Act.

The main purpose of the ED Act² is to facilitate economic development, development for community purposes, diverse housing, and premises for commercial or industrial uses. The ED Act³ seeks to achieve this by establishing the MEDQ and providing for a streamlined planning and development framework for particular parts of the state declared as Priority Development Areas (PDAs).

1.2 Priority Development Area

The Bowen Hills PDA was declared by regulation⁴ on 28 March 2008.

The PDA, identified in Map 1 and Map 2, is 108 hectares of land bound by Bowen Bridge Road and Enoggera Creek to the west, the Mayne Rail Yards and Breakfast Creek to the north, Water Street and St Pauls Terrace to the south and Breakfast Creek, Cintra Road and Markwell Street to the east.

1.3 Application of the Development Scheme

The Bowen Hills PDA Development Scheme (Scheme) applies to all development in the PDA, including on water⁵.

The Bowen Hills PDA boundary is identified on Maps 1 and 2.

The Scheme took effect on 3 July 2009 and was amended on 1 April 2010, 21 June 2019 and 9 December 2022.

1.4 Content of the Development Scheme

The Scheme consists of:

1. Introduction (Section 1) – explaining the context of the PDA,
2. Land Use Plan (Section 2) – regulating development in the PDA,
3. Infrastructure Plan (Section 3) – describing the infrastructure required to support the Land Use Plan and the applicable development charges,
4. Implementation Strategy (Section 4) – describing actions that complement the Land Use Plan and Infrastructure Plan to achieve the main purpose of the ED Act, and
5. Schedules (Section 5) – detailing definitions, PDA Accepted Development, Transport, access, parking and servicing requirements, Heritage Places and Amendments made to the scheme.

¹ See section 8 of the ED Act.

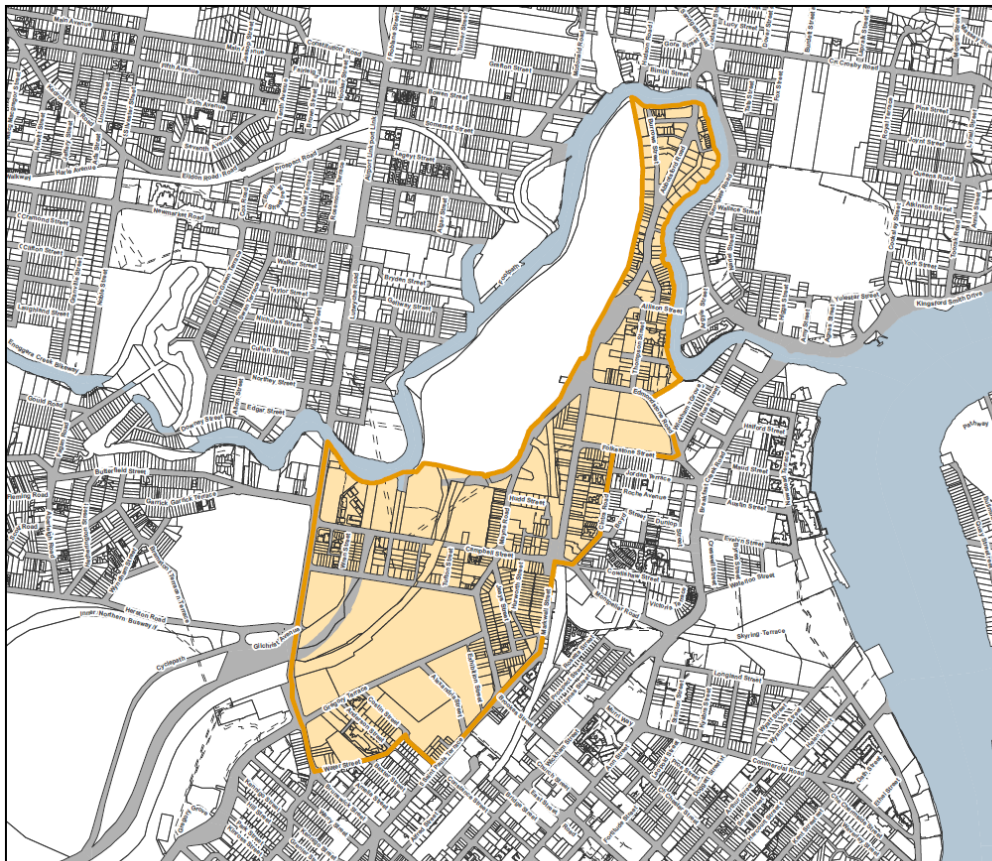
² See section 3 of the ED Act.

³ See section 4 of the ED Act.

⁴ See section 37 of the ED Act.

⁵ See section 47A of the Act Interpretation Act 1954.

Map 1: PDA Boundary (Cadastral)

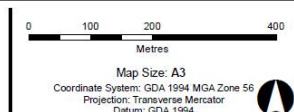


Map 2: PDA Boundary (Aerial)



Legend
 Bowen Hills PDA boundary — Railway
 Railway station

Imagery: July 2018, 10cm



**Bowen Hills PDA
 Development Scheme
 PDA Boundary**

Map produced by the Department of State Development
 Spatial Services Unit, 29/03/2019

Bowen Hills PDA Development Scheme – Proposed Amendment – FOR PUBLIC NOTIFICATION

2 Land Use Plan

2.1 Components

The Land Use Plan consists of the:

1. PDA Vision (section 2.3), and
2. PDA Development Requirements (sections XXX, XXX and XXX).

The PDA Vision identifies the overall outcome to be achieved in the PDA.

The PDA Development Requirements establish the outcomes sought to achieve the PDA Vision. They apply to all PDA Assessable Development and consist of:

1. Structural Elements Plan
2. PDA-wide Criteria
3. Zone Provisions
4. Precinct Provisions

Acceptable Outcomes are one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Vision.

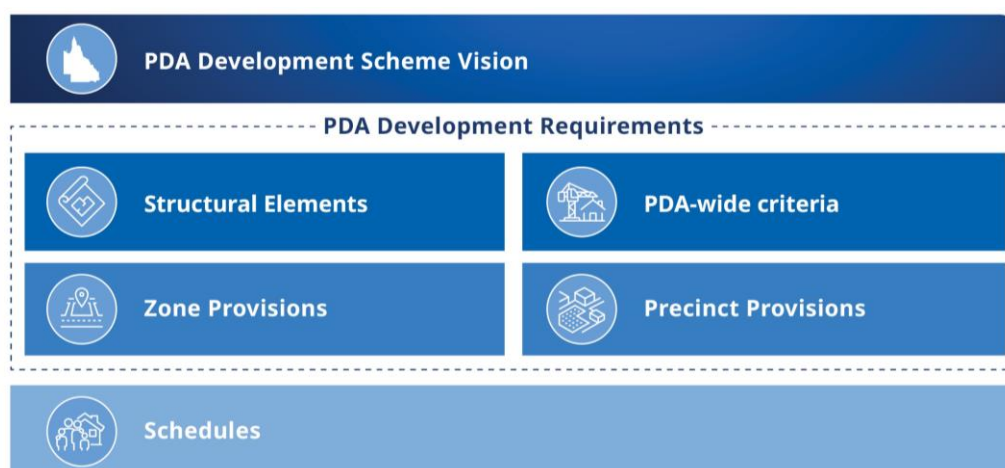
Guidance material assists in interpreting the PDA Development Requirements. Guidance material includes EDQ Guidelines and any other documents or guidelines referenced in the Scheme. Where relevant, an applicant may be required to demonstrate how the guidance material has been considered in the preparation of the PDA development application.

The application of the Scheme also relies on the following Schedules:

- Schedule 1 — Categories of Development
- Schedule 2 — PDA Accepted Development
- Schedule 3 — Transport, access, parking and servicing requirements
- Schedule 4 — Definitions
- Schedule 5 — Heritage Places
- Schedule 6 — Amendments

Figure 1 below illustrates the components of the Land Use Plan and their relationship to each other.

Table 1: Land Use Plan Components and Relationships



2.2 Development Assessment Procedures

2.2.1 Categories of Development

Schedule 1 of the Scheme identifies development that is either:

1. PDA Accepted Development (Column 1), or
2. PDA Assessable Development (Column 2)

PDA development approval is not required for PDA Accepted Development.

PDA development approval is required prior to commencing PDA Assessable Development.

2.2.2 Interpretation

The interpretation of terms and definitions relies on:

1. the ED Act, including Section 33 of which defines development,
2. Schedule 1: Definitions which applies the Use definitions and administrative terms from Brisbane City Plan 2014 (Brisbane City Plan), unless otherwise defined in the Scheme or the ED Act, and
3. The Acts Interpretation Act 1954.

A reference in the Scheme to any planning scheme or Act includes any regulation or statutory instrument made under the referenced Act, as amended or replaced.

A reference to a specific guideline, document or standard means the latest version of the guideline, document or standard, unless otherwise specified in the Scheme.

2.2.3 Development inconsistent with the Land Use Plan

Development that is inconsistent with the Scheme cannot be granted a PDA development approval⁶.

PDA Assessable Development identified in Schedule X as prohibited development is inconsistent with the Scheme.

2.2.4 Development consistent with the Land Use Plan

PDA Assessable Development is consistent with the Land Use Plan if it is consistent with the relevant PDA Development Requirements⁷.

MEDQ will consider alternative approaches to the built form and urban design provisions in section 2.6 as performance based solutions to retain consistency with the PDA development requirements.

Development that is inconsistent with the relevant PDA Development Requirements may be consistent with the Scheme if:

1. the development is an interim use, or
2. the development supports the achievement of the PDA Vision (section 2.3) and there are grounds in the opinion of the MEDQ to justify the approval of the development despite an inconsistency with the relevant PDA Development Requirements.

2.2.5 Notice of Application

A PDA development application will require public notification if, in the opinion of the MEDQ, the development:

1. may have adverse impacts on the amenity or development potential of adjoining land under separate ownership, or
2. is for a use or of a size or nature which warrants public notification.

⁶ See section 86 of the ED Act.

⁷ Refer to the hierarchy of provisions described under section 2.1 of the scheme for further guidance.

Public notification may also be required for a PDA development application for PDA-associated development.⁸

2.2.6 State Interests

Relevant matters of State Interest have been considered in the preparation of this Scheme. State Interests will be considered further as part of the assessment of a PDA development application⁹.

2.2.7 Relationship with Other Legislation

In addition to assessment against the Scheme, development may require assessment against other State and Commonwealth legislation including, for example, the Transport Infrastructure Act 1994, Environmental Protection Act 1994, Nature Conservation Act 1992, *Plumbing and Drainage Act 2018*, *Building Act 1975* and the *Planning Act 2016* (Planning Act) including subordinate legislation¹⁰.

In addition to a PDA development approval, approval under the Planning Act may be required for certain development made assessable by the *Planning Regulation 2017*.

2.2.8 Local Laws and By-laws

Relevant local laws made under the *City of Brisbane Act 2010* apply in the PDA to the extent they are not replaced by a by-law made under the ED Act.

2.2.9 Relationship with Local Government Planning Scheme

Schedule 6 of the *Planning Regulation 2017* prohibits Brisbane City Plan from making PDA-related development assessable under the Planning Act. However, schedule 2 adopts definitions from Brisbane City Plan and the development scheme calls up various other parts of the Brisbane City Plan as guidance.

If there is a conflict between the development scheme and a planning instrument, assessment benchmarks prescribed by regulation under the Planning Act or under another Act for the Planning Act, the development scheme prevails to the extent of any inconsistency.¹¹

2.2.10 Interim Use

An interim use is a land use that, because of its nature, scale, form or intensity, is not an appropriate long-term use of the land, but may be appropriate for a short or medium-term period as the PDA develops.

An interim use:

1. may be subject to a limited duration, and
2. must not prejudice or delay appropriate long term uses, or infrastructure delivery envisaged by the PDA Development Requirements and the PDA Vision.

Relevant PDA Development Requirements also apply to all interim use that are Assessable Development. The MEDQ may impose PDA development conditions limiting the operation, management or duration of an interim use, or the provision of infrastructure for an interim use.

⁸ Section 84 of the AD Act

⁹ Section 87 of the ED Act states that any relevant state interest must be considered in deciding a development application. For the purposes of addressing state interests in development assessment, the State Planning Policy (SPP) and State Development Assessment Provisions (SDAP), provide guidance in identifying if a state interest is relevant to the assessment of a PDA development application. For further advice on the consideration of state interests refer to the EDQ Practice note 14: State interests in development assessment in priority development areas, available at www.edq.qld.gov.au/priority-development-areas-guidelines-and-practice-notes.html

¹⁰ For further advice on what other legislation may apply refer to Appendices 1 and 2 of the EDQ Practice note 14: State interests in development assessment in priority development areas, available at www.edq.qld.gov.au/priority-development-areas-guidelines-and-practice-notes.html

¹¹ Section 71 of the ED Act,

Information to support a PDA development application for an interim use may include:

1. a suitability assessment; and
2. an infrastructure demand assessment, and
3. plans showing how the development could transition from the proposed interim use to an appropriate longer-term use.

2.2.11 Context Plans

The MEDQ may require a Context Plan to be submitted with a development application, to explain how the proposed development:

1. integrates with surrounding land, and
2. does not prejudice the orderly and efficient development of surrounding land in a manner consistent with the Scheme.

A Context Plan does not form part of a PDA development approval, so it does not prescribe or set future development outcomes. Its role is to assist with the assessment of a PDA development application by demonstrating that the proposed development can proceed without compromising the future development potential of surrounding land or strategic infrastructure as required or anticipated by the Scheme.

2.2.12 Plans of Development¹²

A Plan of Development (POD) may be lodged and approved with a PDA development application.

A POD:

1. may establish criteria for future development within the area to which it applies,
2. may include concept designs and deal with the sequencing of development,
3. cannot apply to land that is not the subject of the PDA development application.

Schedule 1 (Categories of Development) and Schedule 2 (PDA Accepted Development) make development carried out in accordance with an approved POD PDA accepted development.

Development that is not carried out in accordance with an approved POD remains PDA Assessable Development and requires PDA development approval, unless another provision of this Scheme applies.

The approval of a POD does not prevent the making of a development application for development that is not in accordance with the POD.

Where a subsequent PDA development approval is inconsistent with an approved POD, or would render the POD inoperable, the POD may require amendment to ensure it remains compatible with approved development.

2.2.13 PDA-Associated Development

PDA-Associated Development may be:

1. declared by regulation, or
2. identified as PDA-Associated Development in the relevant development instrument for the PDA.

¹² See EDQ practice note no. 10 Plans of Development

2.3 PDA Vision

The Bowen Hills PDA is a vibrant urban area which has preserved its heritage places and accommodates a range of uses that are connected with a quality public realm. The mix of uses and intensity of development contribute to the activation of places and streets at different times of the day and throughout the week.

The greatest mix and intensity of development is located in the Mixed-use zone around high-frequency public transport stations. These areas support Brisbane's growth by concentrating development, housing, jobs and activity.

Retail high streets on King Street, Mayne Road and Hudd Street connect to Bowen Hills Railway Station and provide jobs, services and accessible public spaces.

The Old Queensland Museum, Brisbane Showgrounds and other venues support year-round events. The Showgrounds also links O'Connell and Gregory terraces and provides public open space.

The PDA provides a range of housing choices. High-rise apartments are concentrated in mixed-use areas, buildings up to 8 storeys are located east of Abbotsford Road and lower-rise housing (up to 4 storeys) along Cintra Road. Accommodation uses near Perry Park support amenity and passive surveillance.

A mixed business and industry area is established north of Perry Park and south of Allison Street and accommodates varied building forms and active business frontages. North of Allison Street, strategically significant industrial land accommodates a range of industrial and commercial services to inner city residents and businesses.

The PDA supports safe, accessible travel by walking, cycling, public transport and private vehicle.

Walkways, cycle lanes and direct station links connect the PDA with surrounding areas.

Frequent bus and rail services provide strong access. Cross River Rail and the Exhibition Railway Station upgrade will increase capacity, supported by station-focused development and clear pedestrian links.

Streets and intersections safely accommodate all users and support landscaping, parking and connectivity.

Public open spaces and high quality public realm provide recreation areas and visual relief from the built environment in Bowen Hills. Bowen Park and Perry Park are the key recreational spaces, supported by smaller new and upgraded parks within development areas and the Brisbane Showgrounds.

Buildings address streets and public spaces to create a safe, attractive and active human-scale environment.

Accessible, landscaped public spaces and streets strengthen local identity, connections and safety.

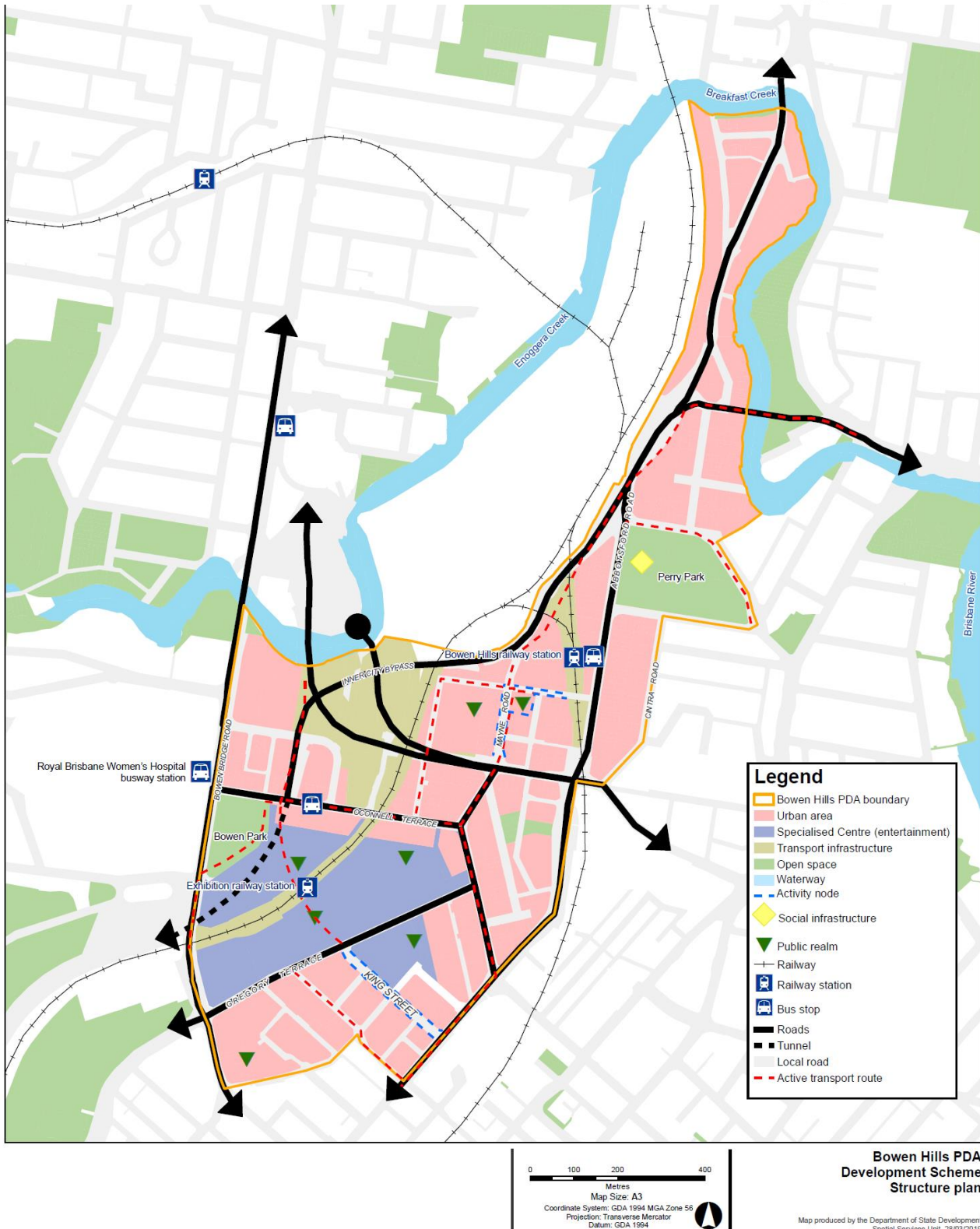
Subtropical design supports environmental performance, maximising natural light, comfort, privacy and ventilation.

2.4 Structural Elements

The PDA Structural Elements support the delivery of the PDA Vision. These must be considered in preparing a PDA development applications and the in the assessment of PDA Assessable Development.

Map 3 provides a spatial depiction of the Structural Elements for the Bowen Hills PDA.

Map 3: Structure Elements Plan



2.5 PDA-wide Criteria

The PDA-wide Criteria apply to all PDA assessable development in the Bowen Hills PDA. To the extent that the criteria are relevant, they are to be taken into account in the preparation of PDA development applications and the assessment of those applications under the ED Act.

The PDA-wide criteria support the delivery of the structural elements expressed in Section 2.4 and Map 3 – Structural Elements Plan.

The Infrastructure Plan and implementation Strategy may include further information, which should be taken into account in the design and feasibility of development proposals.

For more detail on how to comply with the requirements listed below refer to guidelines issued by ED Act which are available on the EDQ website here - [Development guidelines | Economic Development Queensland](#).

2.5.1 Urban Design

Development:

1. caters for the diverse needs of all community members, including children, elderly and people with disabilities, by applying principles of universal, adaptable and inclusive design,
2. creates an attractive and functional relationship between buildings, private spaces and the public realm,
3. provides a ground plane that is connected, legible, permeable, inclusive and safe,
4. contributes positively to the urban environment and the visual experience of a place,
5. allows for innovative and temporary use of public realm,
6. applies Crime Prevention through Environmental Design (CPTED) principles¹³ and
7. promotes identity and distinctive character, by working with the landscape, heritage and cultural features to create places with a strong relationship to their context.

2.5.2 Sub-tropical Design¹⁴

Development:

1. maximise natural light and air flow in the public realm and private spaces to reduce energy demand for artificial lighting and mechanical temperature control
2. manages the extremes of temperature and direct solar heating in buildings, streets and public spaces
3. orientates buildings to optimise seasonal solar gain and loss, and
4. incorporates landscaping, vegetation and large trees to provide shade and shelter for pedestrians and cyclists.

2.5.3 Building Form

Development:

1. delivers human-scale relationships between buildings, streets and the public realm,
2. uses setbacks and landscaping to integrate with, complement and articulate streetscapes,
3. uses the ground floor of buildings to define the adjacent street or space, delivers a sense of safety, community ownership and promotes activation,
4. for mid-rise and high-rise buildings, providing tower separations to deliver access to light, promote air circulation, minimise overshadowing and maximise amenity and privacy for both occupants and neighbours, and
5. responding to the cultural heritage significance of heritage places.

¹³ Refer to Crime Prevention through Environmental Design, Guidelines (Queensland Government, 2007).

¹⁴ Refer to the guidance provided in Brisbane City Council's New World City Design Guide: Buildings that Breathe.

2.5.4 Streets and Public Realm

Development:

1. incorporates attractive spaces embellished with landscape and street furniture to encourage social interaction, healthy active lifestyle¹⁵ and community-based activity;
2. contribute positively to the environmental and visual experience of Bowen Hills, and
3. provides legible, permeable and safe movement options for all members of the community.

2.5.5 Connectivity

Development:

1. delivers a high quality street and movement network and related infrastructure which enhances connectivity for pedestrians, cyclists and vehicles
2. provides car parking, access and servicing facilities to meet the necessary functional requirements of development as detailed in Schedule 3
3. ensures universal design principles are applied to access, safety, transport and connectivity within the PDA to ensure that the needs of pedestrians, cyclists and motorists are met
4. ensures the layout of streets and the public realm prioritise pedestrian and cycle movements and the use of public transport over private vehicles by:
 - a. creating attractive, direct, permeable, legible and connected network of streets, pedestrian and cycle paths and safe crossings points
 - b. giving high priority to equitable pedestrian connectivity, directness of route and facilities for all members of the community
 - c. providing convenient through-site connections and cross-block links for pedestrians and cyclists, offering a choice of routes throughout the PDA
 - d. connecting directly to existing footpaths, cycleways, streets and public transport in surrounding areas, and
 - e. managing potential conflicts between pedestrians, cyclists and other users through appropriate and safe design.

2.5.6 Housing Diversity

Development provides a variety of dwelling sizes, layouts and configurations, to meet a range of household needs.

2.5.7 Responsive Design

2.5.7.1 Water Management

Development provides a stormwater management system¹⁶ designed to deliver the principles of Water Sensitive Urban Design (WSUD) and Integrated Water Cycle Management (IWCM) for buildings, streets and public spaces.

2.5.7.2 Energy Efficiency

Development:

1. promotes:
 - f. a site layout, building orientation and thermal design that reduces the need for mechanical cooling and heating
 - g. the use of natural light and energy efficient lighting, plant and equipment

¹⁵ Refer to Healthy by design Guidelines (National Heart Foundation, Victoria, 2004).

2. considers the integration of:
 - h. solar generation technology within the built form or public realm, or
 - i. green roofs, green walls or other sustainable landscape elements within the built form and the public realm, or
 - j. smart technology which passively controls the use of electricity.

2.5.7.3 Waste Management

Development:

1. provides facilities for recycling, composting and waste reduction,
2. facilities centrally located waste management where possible, and
3. ensures that no liquid or solid wastes, other than stormwater, are discharged to neighbouring land or waters to prevent contamination of natural waterways.

2.5.7.4 Transport Efficiency

Development:

1. integrates with public transport and active transport infrastructure
2. supports a reduction in car ownership and vehicle trips by providing car share facilities, ride share access, cycle access, cycle storage facilities and pedestrian permeability, and
3. provides facilities to support the charging of electric vehicles including at least one Destination AC charger¹⁷ and the electrical capacity for Basic AC charging¹⁸ on all non-visitor parking.

2.5.8 Infrastructure Planning and Delivery

Development:

1. does not constrain planned future infrastructure
2. delivers infrastructure in a timely and coordinated way which facilitates ongoing development in the PDA.

2.5.9 Heritage Places

Development promotes the historic identity of the Bowen Hills PDA, by conserving the cultural significance of heritage places¹⁹ and sensitively managing any development and adaptive reuse opportunities by:

1. avoiding significant adverse impacts on the cultural heritage significance of the place²⁰ by protecting the fabric, features and setting of a heritage place when providing for its continued use, interpretation and management
2. where adverse impacts cannot be avoided, minimising and mitigating unavoidable adverse impacts on the cultural heritage significance of the place or area, by adapting a heritage place to a new use in a way that is compatible and sympathetic to its heritage significance²¹, and

¹⁷ Destination AC charging requires three phase 415V, 16-32A, supplying 11-22kW of power. If three phase power is unavailable, single phase 40A may be acceptable.

¹⁸ Basic AC charging requires supply of a dedicated AC circuit of 240 volts, 10-15amps, supplying 2.4-3.7kW of power.

¹⁹ Heritage places listed on the Queensland Heritage Register and Brisbane City Plan Heritage overlay within the Bowen Hills PDA are identified on map 3 and listed in schedule 4.

²⁰ Refer to the relevant Queensland Heritages Register statement of significance or Brisbane City Plan Heritage overlay citation.

²¹ To understand how to fulfil these requirements, development applicants should refer to:

Developing Heritage Places: Using the development criteria document, a guideline prepared by the Department of the Environment, Tourism, Science and Innovation, and available at

<https://www.qld.gov.au/environment/land/heritage/publications/> and The Burra Charter: The Australia ICOMOS Charter for Places of Cultural heritage significance 2013, available at <http://australia.icomos.org/publications/charters/> along with a number of useful Practice Notes.

3. minimising the detrimental impact of the form, bulk and proximity of adjoining development on heritage places.

2.5.10 Environment

2.5.10.1 Significant Vegetation

Development:

1. avoids impacts on significant vegetation, or
2. minimises and mitigates impacts on significant vegetation, if avoidance is not reasonably possible²², and
3. provides an offset if, after demonstrating all reasonable avoidance, minimisation and mitigation measures are undertaken, the development results in significant residual impact on a prescribed environmental matter²³.

2.5.10.2 Waterways and Riparian Areas

Development:

1. ensures that land along Breakfast Creek within 10m of the high water mark is transferred to Brisbane City Council as publicly accessible open space
2. is located, designed, constructed and operated to avoid, or where avoidance is not reasonably possible, minimises and mitigates adverse impacts on:
 - k. the hydraulic capacity of the waterway²⁴
 - l. the environmental values of receiving waters²⁵, and
3. protects environmental values of receiving waters by delivering appropriate solutions that achieve an equivalent or improved water quality outcome.

2.5.10.3 Acid Sulfate Soils

Development:

1. ensures acid sulfate soils (ASS) will be treated in accordance with current best practice in Queensland
2. ensures the disturbance of ASS is avoided to the greatest extent practical, then managed to reduce risks posed to the natural and built environments from the release of acid and metal contaminants, and
3. that is operational work will require an ASS investigation if the work involves:
 - m. the disturbance of greater than 100m³ of soil below 5m Australian Height Datum (AHD), or
 - n. the placement of greater than or equal to 500m³ of fill material in layer of greater than or equal to 0.5m in average depth below 5m AHD.

2.5.11 Flood

Development in a flood hazard area or coastal hazard area²⁶:

²² Consideration should be given to circumstances where the removal of significant vegetation is necessary for public safety

²³ Refer to the Department of the Environment, Tourism, Science and Innovation environmental offsets framework available at www.ehp.qld.gov.au

²⁴ Refer to Brisbane City Plan Compensatory earth works planning scheme policy where development involves filling or excavation (> 100mm in depth) on land identified on the Brisbane City Plan Waterways corridor overlay map as a Local waterway corridor.

²⁵ Consideration should be given to State Planning Policy (SPP) in particular the State interest of water quality.

²⁶ Refer to Brisbane City Plan Flood overlay map and Coastal hazard overlay map. Assessment against the Brisbane City Plan Flood overlay code should be provided for development in a flood hazard area. Assessment against the Brisbane City Plan Coastal hazard overlay code should be provided for development in a coastal hazard overlay area

1. is designed and located to avoid, or where avoidance is not reasonably possible, minimise and mitigate the susceptibility to and the potential impacts of inundation
2. ensures underground car parks are designed to prevent the intrusion of storm tide waters or flood waters by the incorporation of a bund or similar barrier with a minimum height of 300mm above the defined flood level
3. provides measures to ensure critical services²⁷ remain operational in an inundation event. Essential electrical services including substation equipment and switchboards must be located above the defined flood level, and
4. ensures any hazardous material manufactured or stored on site is not susceptible to risk of inundation.

2.5.12 Managing Development Impacts

The Bowen Hills PDA is predominately a mixed-use environment that accommodates a range of land uses including highly urbanised living and working opportunities. Development delivers amenity outcomes that are consistent with this context.

2.5.12.1 Noise

Development mitigates the noise amenity impacts to different land uses, especially sensitive uses²⁸²⁹.

2.5.12.2 Air quality

Development mitigates the air quality amenity impacts to different land uses, especially sensitive uses, such as odour or air emissions³⁰³¹.

2.5.12.3 Industry hazard and risk

Development demonstrates how its location, design, construction and operation will address, manage and mitigate hazard and risks, especially in the proximity to sensitive uses³²³³.

2.5.13 Managing the Impacts of Infrastructure

2.5.13.1 Railway Environment

Development³⁴:

1. does not create a safety hazard for users of a railway, by increasing the likelihood or frequency of loss of life or serious injury
2. does not compromise the structural integrity of railways, rail transport infrastructure, other rail infrastructure or railway works

²⁷ Critical electrical services include any area or room used for fire control panel, telephone PABX, sensitive substation equipment including transformers, low voltage switch gear, high voltage switch gear, battery chargers, protection control and communication equipment, low voltage cables, high voltage cables, and lift or pump controls.

²⁸ Applicant may be required to demonstrate compliance with Brisbane City Plan Noise impact planning scheme policy.

²⁹ For development involving Artisan food and drink industry consideration should be given to PO2 of the Brisbane City Plan Industry Code.

³⁰ Applicant may be required to demonstrate compliance with Brisbane City Plan Air quality planning scheme policy.

³¹ For development involving Artisan food and drink Industry consideration should be given to PO1 of the Brisbane City Plan Industry Code.

³² Applicant may be required to demonstrate compliance with Brisbane City Plan Industrial hazard and risk assessment planning scheme policy and Management of hazardous chemicals in flood affected areas planning scheme policy.

³³ The industry thresholds specified in SC1.1.3 of the Brisbane City Plan apply to: (a) all industry uses unless otherwise specified in the development scheme; and (b) development involving Artisan food and drink industry other than a brewery or distillery not exceeding the annual throughputs specified in the definition of Artisan food and drink outlet.

³⁴ Refer to the Queensland Government Development Assessment Mapping System and the State Development Assessment Provisions – State Code 2: Development in a railway environment

3. does not result in a worsening of the physical condition or operating performance of railways and the rail network
4. does not compromise the state's ability to construct railways and future railways, or significantly increase the cost to construct railways and future railways
5. does not compromise the state's ability to maintain and operate railways, or significantly increase the cost to maintain and operate railways, and
6. ensures the community is protected from significant adverse impacts resulting from environmental emissions generated by a railway.

2.5.13.2 Sub-surface Transport Infrastructure

Development does not adversely impact the structural integrity or ongoing operation and maintenance of sub-surface transport infrastructure that is an existing or endorsed proposed tunnel³⁵.

2.5.13.3 Noise – Transport Noise Corridors and Entertainment Venues

Development is oriented, designed and constructed to:

1. reduce exposure to noise impacts from designated transport noise corridors³⁶, and
2. reduce the exposure of residential uses to noise impacts from lawfully operating entertainment venues³⁷.

2.5.13.4 Procedures for Air Navigation Services

Development does not create a permanent or temporary obstruction or hazard to operational airspace of the Procedures for Air Navigation Services – Aircraft Operational Surfaces (PANS-OPS)³⁸ for the Brisbane Airport as identified on the Brisbane City Plan Airport Environs overlay mapping.

2.5.13.5 Air Quality

Development must limit exposure and risk associated with pollutants that could have an adverse effect on human health³⁹.

Development in a transport air quality overlay is designed to⁴⁰:

1. minimise the impacts of air pollution from vehicle traffic on the health and wellbeing of uses of a childcare centre, multiple dwelling, residential care facility or retirement facility, and
2. maximise wind movement around buildings and the dispersion of traffic air pollutants.

Development within 100m of the Clem Jones Tunnel north ventilation outlet⁴¹ and above RL+45m AHD must be designed and oriented to:

1. avoid unreasonable impacts on the performance of the ventilation outlet, and
2. mitigate potential air quality impacts on occupants resulting from the ventilation outputs.

³⁵ Development located in proximity to sub-surface transport infrastructure is to be supported by the submission of engineering and geological reports and certification or consent provided by the relevant infrastructure owner. Existing sub-surface transport infrastructure within the PDA is identified on Map 6.

³⁶ Refer to Brisbane City Plan Transport Noise overlay map.

³⁷ A building is designed and constructed to achieve a minimum reduction in sound pressure level between the exterior of the building and the bedroom or living room, of $L_{Leq,T} 20\text{dB}$ at 63Hz where near a lawfully operating entertainment venue. Residents living near lawfully operating entertainment venues also need to be aware that noise levels will be relatively higher both inside and outside of residences.

³⁸ Refer to Brisbane City Plan Airport Environs overlay code. Where development intrudes into Brisbane Airport's PANS-OPS, advice from the Civil Aviation Safety Authority will be provided as part of a PDA development application.

³⁹ Refer to Brisbane City Council's Air Quality Planning Scheme Policy and the Queensland EPA Guidelines on Odour Impact Assessment from Developments.

⁴⁰ Refer to Brisbane City Council's Transport air quality corridor overlay and the Transport air quality overlay code.

⁴¹ Refer to Map 6 to identify the location of the Clem Jones Tunnel north ventilation outlet and property within 100m of it.

Development within 150m of the Queensland Urban Utilities odour control device⁴² must be designed and oriented to mitigate:

1. unreasonable impacts on the performance of the odour control device
2. potential air quality impacts on occupants resulting from the odour control device
3. the intrusion of air pollution from the odour control device, and
4. reverse amenity impacts on the lawful operation of the odour control device⁴³.

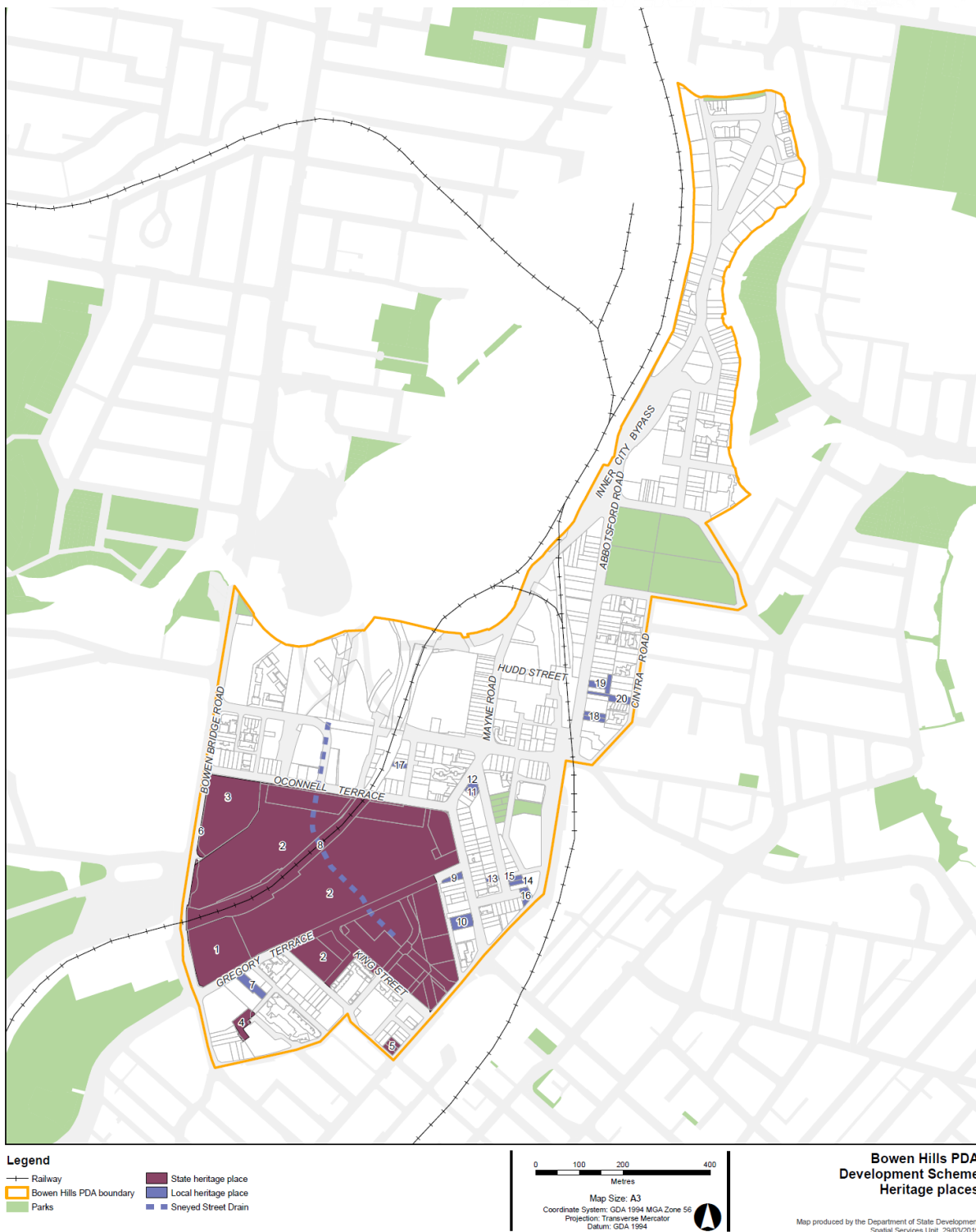
Development for a sensitive use within 500m of an existing High impact industry identified on Brisbane City Plan Industrial amenity overlay map is designed and constructed to achieve acceptable air quality, odour and health risk standards⁴⁴.

⁴² Refer to Map 6 to identify the location of the Queensland Urban Utilities Odour Control Device and property within 150m of it.

⁴³ All proposed development within the 150m buffer and above RL65m AHD will be required to submit an air quality impact report prepared in accordance with the Brisbane City Plan Air Quality Planning Scheme Policy. This report will be referred to Queensland Urban Utilities through development assessment processes.

⁴⁴ Refer to Brisbane City Plan Industrial amenity overlay code and Air quality planning scheme policy.

Map 4: Heritage Places



Map 5: Sub-surface Transport Infrastructure



Map 6: Point Source Pollutants

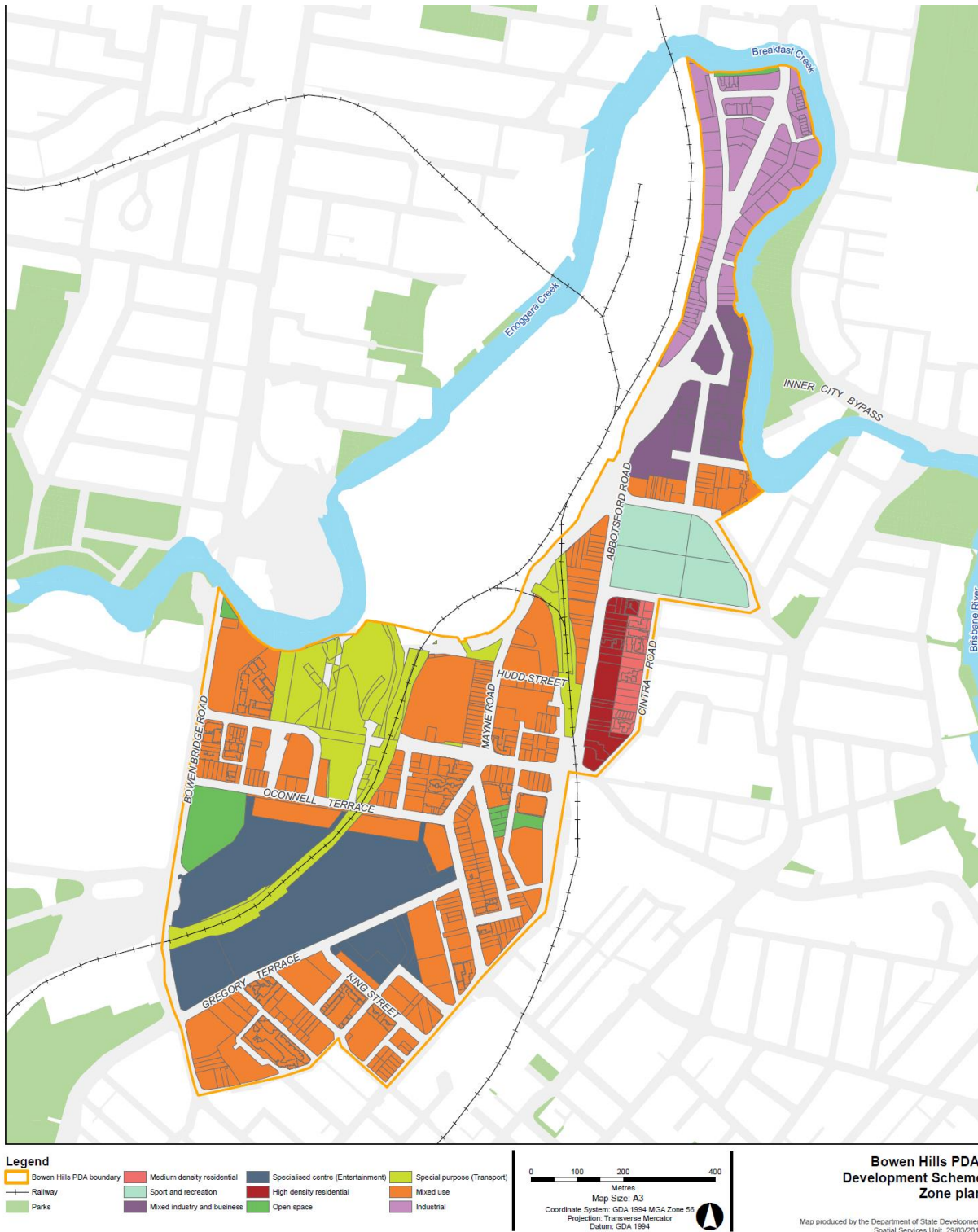


Bowen Hills PDA Development Scheme – Proposed Amendment – FOR PUBLIC NOTIFICATION

2.6 Zone Provisions

All land in the Bowen Hills PDA is included in a zone. The spatial arrangement of zones is shown on Map 8. The levels of assessment for development in zones is set out in Schedule 1.

Map 7: Zone Plan



2.6.1 Medium Density Residential Zone

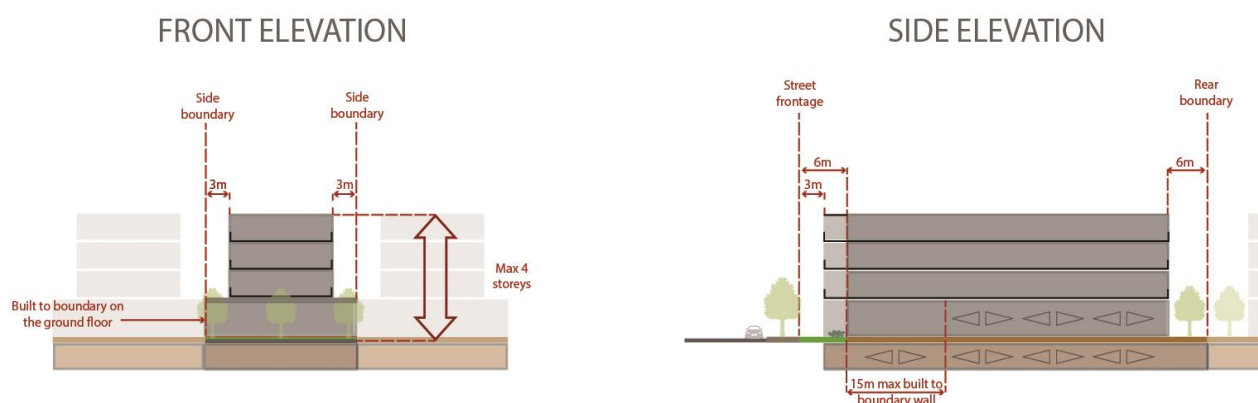
Development provides for a range of residential types including dwelling houses, multiple residential and other accommodation types in a low-rise built form (including community residence, residential care facilities, rooming accommodation, retirement facilities and short-term accommodation).

The Acceptable Outcomes in the tables below are only one way of demonstrating development is consistent with the relevant Development Requirements.

Table 2: Acceptable Outcomes – Built Form⁴⁵

Plot ratio		Up to 1:1
Height		Up to 4 storeys
Building envelope	Street frontage setback	3m to balconies. 6m to external wall.
	Built to boundary walls	For non-habitable spaces on the ground level, up to a length of 15m
	Side setback	3m
	Rear setback	6m

Figure 1: Built form provisions – Medium density residential zone



Building form	Scale and bulk	Up to 30m on any one outer building wall. Up to 10m between building articulations.
	Orientation	To the street frontage. To both streets on a corner lot

⁴⁵ Built form provisions are not applicable to development for a dwelling house. EDQ Guideline no.7 Low rise buildings should be referred to for a proposed dwelling house.

	Separation distances	6m to balconies or windows in habitable rooms at ground level, unless screened by a 1.8m high fence. 9m to balconies or windows in habitable rooms above ground level.
	Fences or walls	To the front boundary - 50% visually permeable and no higher than 1.5m. To side and rear boundaries – up to 1.8m in height, if buildings are not built to boundary.
	Rooftops	Plant and equipment is screened or integrated with the overall roof design. Varied roof forms. May be utilised for communal open space and other passive recreation uses.
Communal open space and facilities		For development with 6 or more dwellings: i. designed for universal access ii. 15% of the site area iii. 40m² and a minimum dimension of 4m iv. a combination of ground level, vertically integrated or roof top settings v. respects the privacy of both users and those overlooking from neighbouring properties vi. includes landscape and deep planting shade trees or structures suited to the subtropical environment vii. positioned for good solar orientation and minimises water use, and viii. excludes driveways, storage or turning areas.
Private open space		12m ² and minimum dimension of 3m. Screened to maximise privacy between buildings and the public realm, without compromising CPTED principles. Provides overlooking of the street to promote passive surveillance.

The built form provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

Table 3: Acceptable Outcomes – Urban Design

Building elements and appearance	Articulated with varied materials and design details, external balconies, verandas, terraces, recessed doors and doorways, windows, shade and screening devices, and outdoor planting. Visual and noise privacy, adequate storage space, adequate room sizes, functional room relationship and the provision of useable and well connected common outdoor spaces. Well-defined entry point for pedestrians. Direct street access for ground level dwellings. Cross ventilation and supports a naturally ventilated and comfortable environment.
Landscape	On-site landscape and shade trees contribute to the area's streetscape and residential character. Minimum of 50% of the street frontage is landscaped.
Public realm	Addresses and provides passive surveillance of its interface with the street and other adjoining public spaces. Facilitate pedestrian and cycle amenity and safety.

The urban design provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

2.6.2 High Density Residential Zone

Preferred Development Intent

Development provides for a range of residential types including multiple residential and other accommodation types in a mid-rise built form (including community residences, residential care facilities, rooming accommodation, retirement facilities and short-term accommodation).

Development is predominantly in attached building forms that are compatible with the residential character of the street and surrounding buildings.

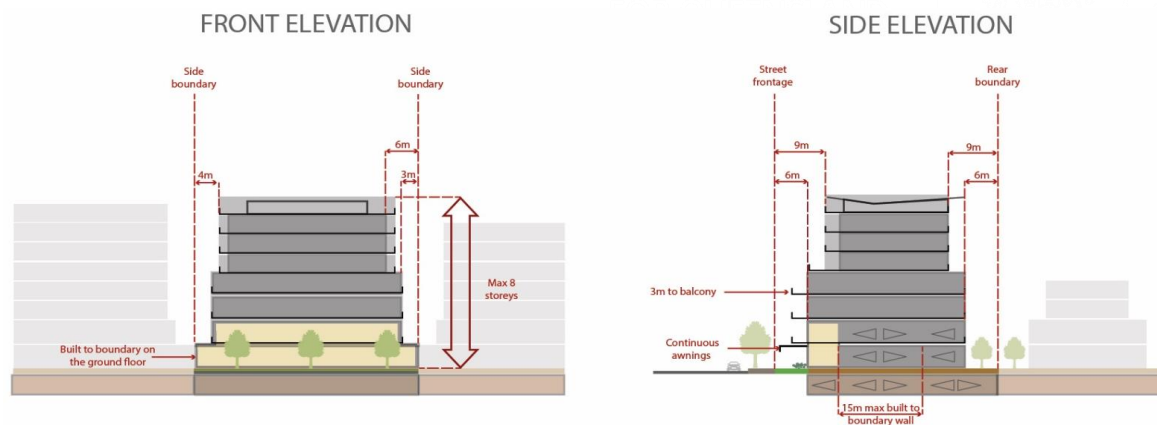
Shops or community facilities not exceeding 250m² of GFA are appropriate on the ground level to provide services and support to the residential community.

Table 4: Acceptable Outcomes – Built Form⁴⁶

Plot ratio		Up to 2:1	
Height		Up to 8 storeys	
Building envelope	Street frontage setback	Ground level	3m to non-residential uses 6m to residential uses
		Up to 4 storeys	3m to balconies. 6m to external walls.
		Above 4 storeys	9m
	Side setback	Up to 4 storeys	0m on the ground level for non-habitable spaces with a maximum wall length of 15m. Otherwise 3m.
		Above 4 storeys	6m to habitable rooms. 4m to balconies, non-habitable rooms.
	Rear setback	Up to 4 storeys	6m
		Above 4 storeys	9m

⁴⁶ Built form provisions are not applicable to development for a dwelling house. PDA Guideline no.7 Low rise Buildings should be referred to for a proposed dwelling house.

Figure 2: Built Form Provisions – High Density Residential Zone



Building form	Scale and bulk	Building footprint - up to 1,200m². Above podium – up to 60% site coverage and horizontal dimension up to 50m. Outer building wall length – up to 30m. between wall articulations - 10m.
	Orientation	To the street frontage. To both street frontages on a corner lot is.
	Separation distances	6m to balconies or windows in habitable rooms at ground level, unless screened by a 1.8m high fence. 8m to balconies above the ground level. 12m to windows in habitable rooms above the ground level.
	Fences and walls	To the front boundary - 50% visually permeable and no higher than 1.5m. To a side and rear boundaries - 1.8m in height, if building is not built to boundary.
	Rooftops	Plant and equipment is screened or integrated with the overall roof design. Contribute to the architectural distinction of the building. May be utilised for communal open space and other passive recreation uses.
Communal open space and facilities	- Designed for universal access 25% of the site area - Has at least 1 area of 40m² with a minimum dimension of 4m - a combination of ground level, vertically integrated or roof top settings - respects the privacy of both users and those overlooking from neighbouring properties - includes landscape and deep planting shade trees or structures suited to the subtropical environment - positioned for good solar orientation and minimises water use, and - excludes driveways, storage or turning areas.	

Private open space	12m² and a minimum dimension of 3m. Screened to maximise privacy between buildings and the public realm, without compromising CPTED principles. Provides overlooking of the street to promote passive surveillance.
---------------------------	---

The built form provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

Table 5: Acceptable Outcomes – Urban Design

Building elements and appearance	Well articulated with varied materials and design details, external balconies, verandas, terraces, recessed doors and doorways, windows, shade and screening devices and outdoor planting. Visual and noise privacy, adequate storage space, adequate room sizes, functional room relationship and the provision of useable and well connected common outdoor spaces. Well-defined entry point for pedestrians. Allows for cross ventilation and supports a naturally ventilated and comfortable environment. Appropriate weather protection, eaves and overhangs, screening, and shading structures on the building facades to channel breezes, filter sunlight, block out night lighting and provide rain protection.
Ground level treatment	Activates street frontages and encourages pedestrian activity by providing a high frequency of front entries or doors to dwellings, non-residential tenancies or communal spaces which are emphasised through architectural and landscape treatment, pedestrian paths and awnings. Introduce a variety of details and finishes. For non-residential tenancies or communal uses - provides continuous 2m wide awnings with integrated lighting to provide shelter and protection of pedestrians from the elements. Provide direct street access for ground level dwellings. If set back from the street or for residential use without awnings - street trees are provided to give protection from climatic conditions and separate pedestrians from traffic movement.
Podium treatment	Address, activate and provide a visual appeal to street frontages. Articulations in building facades and landscape treatments to reduce the visual bulk of the building and provide an appropriate transition between the ground floor and upper storeys. Framing and activating the public realm and entrance spaces while reinforcing the street hierarchy. Provide communal open spaces and roof gardens.

Tower treatment	Provide for balconies to be offset and avoid visual access to habitable rooms or outdoor spaces and to provide visual diversity in the built form. Include articulation and varied design details to create visual appeal. For residential - include balconies and other external protrusions which separate the core from direct solar heating.
Landscape	Development provides on-site landscape and shade trees that contributes to the area's streetscape and residential character. Development provides landscaped areas, including deep planting, along a minimum length of 50% of street frontages.
Public realm	Development addresses and provides passive surveillance of its interface with the street and other adjoining public spaces. Streetscape treatments facilitate pedestrian and cycle amenity and safety.
The urban design provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.	

2.6.3 Mixed Use Zone

Preferred Development Intent

Development provides a wide range and intensity of commercial, retail, health and medical, community, entertainment, cultural activities and residential and other complementary uses in a predominantly high-rise built form. Development comprises a tower and podium typology which addresses the street, within a range of building heights, dependent on site area. The greatest development yields and heights in the zone are achieved on larger lots, development on larger sites reduces visual bulk and shade impacts by providing appropriate setbacks and tower separations.

Building form improves streetscape and pedestrian outcomes by providing spaces for human movement and informal activation at ground level. Podiums are human scale and encourage passive surveillance of the public realm.

Residential amenity is maximised through creation of generous, high quality, private and communal open spaces which improve occupant lifestyles suited to the sub-tropical environment.

Development involving non-residential uses is to avoid or mitigate impacts on surrounding residential uses.

Development surrounding the public transport stations provides for concentrations of commercial uses that capitalise on the area's proximity to high frequency public transport.

Development

Table 6: Acceptable Outcomes – Built Form

Minimum site area		800m ²				
Minimum frontage		20m				
Plot ratio		Site area				
Excluding areas of communal open space.		800 m ² - 1,200m ²	1,200m ² - 1,600m ²	1,600m ² - 3,000m ²	3,000m ² - 10,000m ²	Greater than 10,000m ²
		2:1	4:1	6:1	10:1	12:1
Heights		8 storeys	16 storeys	24 storeys	50 storeys	
Excluding a space on top of a building used primarily as communal open space whether roofed or not.						
Building envelope	Street frontage setback	Ground level	3m			
		Up to 4 storeys	0m to balconies. 3m to external walls.			
		Above 4 storeys	6m			

Side setback ⁴⁷ Development in the mixed use zone on sites >800m ² but <1,200m ² are to be assessed against the side setback provisions specified in the High Density Residential zone.	Up to 4 storeys	0m where a podium. 6m to habitable rooms. 4m to balconies. 3m to non-habitable rooms.
	Above 4 storeys	9m
Rear setback	Up to 4 storeys	0m where a podium. 6m to habitable rooms. 4m to balconies. 3m to non-habitable rooms.
	Above 4 storeys	9m

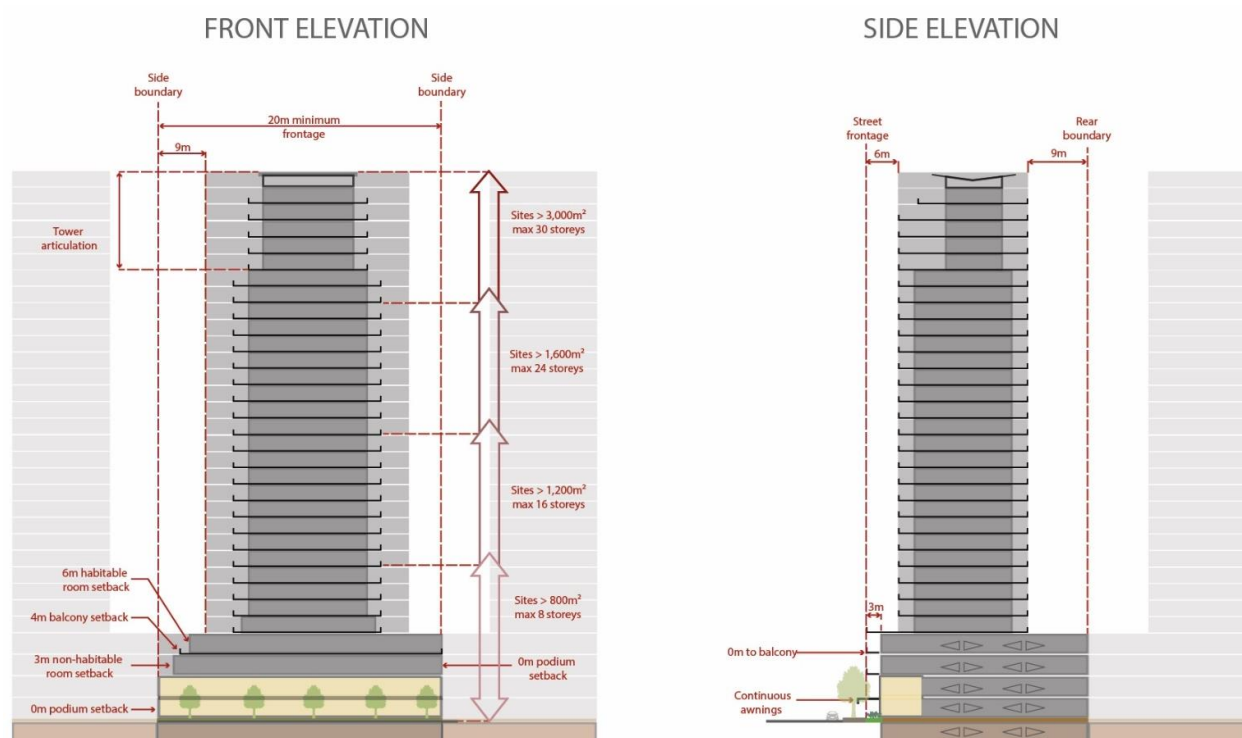


Figure 3: Built Height and Envelope Provisions – Mixed Use Zone

⁴⁷ Setbacks enable existing and future buildings to be well separated from each other and to avoid affecting the potential development of an adjoining site.

Building form	Scale and bulk	Tower footprint⁴⁸ up to 1,200m². Above podium up to 60% site coverage and a maximum horizontal dimension of 50m. Up to 30m on any one outer building wall. Wall length up to 10m between building articulations.
	Orientation	To the street frontage, activating the public realm. To address both street frontages on a corner lot. Optimises seasonal solar gain and loss, taking into consideration major site views and vistas. Located and designed to minimise impacts from surrounding uses and infrastructure and maintain reasonable levels of amenity.
	Separation distances	12m between balconies or windows in habitable rooms up to level 4. 18m above level 4.
	Fences	Side and rear - 1.8m in height, if buildings are not built to boundary.
	Rooftops	Plant and equipment is screened or otherwise integrated with the overall roof design. Contribute to the architectural distinction of the building. May be utilised for communal open space and other passive recreation uses.

⁴⁸ Larger tower footprints proposed for commercial development can be considered in context of potential impacts upon neighbouring property and compliance with building envelope and building separation provisions.

Communal open space and facilities	i. Designed for universal access ii. For residential - 80% of the site area, or 15% of the multiple residential Gross Floor Area. iii. For non-residential 10% of the site area iv. Has at least 1 area of 60m² with a minimum dimension of 6m v. as a mix of ground level, vertically integrated or roof top settings vi. respects the privacy of both users and those overlooking from neighbouring properties vii. includes landscape and deep planting shade trees or structures suited to the subtropical environment viii. is positioned for good solar orientation and minimises water use, and ix. excludes driveways, storage or turning areas.
Private open space	 Figure 4: Options for the placement of communal open space and facilities For a 1 bedroom dwelling - 9m² with a minimum dimension of 3m, or For a 2 or 3 bedroom dwellings - 12m² with a minimum dimension of 3m. Balconies are screened to maximise privacy between buildings and the public realm, without compromising CPTED principles. Ground floor private open space provides privacy but still allow overlooking of the street to promote passive surveillance.
The built form provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.	

Table 7: Acceptable Outcomes – Urban Design

Building elements and appearance	A distinct lower, middle and upper sections, including the ground floor, podium and tower levels, providing for variation in the built form. Well articulated with varied materials and design details, external balconies, verandas, terraces, recessed doors and doorways, windows, shade and screening devices and outdoor planting. Visual and noise privacy, adequate storage space, adequate room sizes, functional room relationship and the provision of useable and well connected common outdoor spaces. Well-defined entry point for pedestrians. Direct street access for ground level dwellings. Cross ventilation and supports a naturally ventilated and comfortable environment. Weather protection, eaves and overhangs, screening, and shading structures on the building facades to channel breezes, filter sunlight, block out night lighting and provide rain protection.
Basements	Basements are within property boundaries. Basement level 1 is clear of street alignments to allow areas for deep planting at the street level.
Ground level treatment	Street activation is achieved through a variety of measures, including varied design concepts and providing a high frequency of foyers, front entries, windows or doors to commercial, retail, community, communal and residential uses. Mixed-use developments provide a predominantly commercial and retail character at the ground floor level, which activate the street. Front entries to all buildings are emphasised through architectural and landscape treatment, pedestrian paths, appropriate lighting and the provision of continuous awnings.

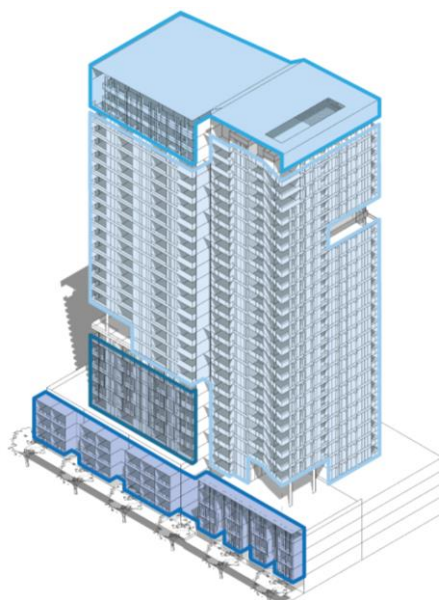


Figure 5: Building Form, Scale, Bulk and Articulation

Foyers open toward the public realm and contain active spaces that engage people, such as reception desks, seating areas, cafes and display spaces.

Non-residential uses at ground level provide:

- i. a minimum 4.5m ground level ceiling height
- ii. continuous 3m wide awnings⁴⁹ over the footpath with integrated lighting to provide shelter and protection from the elements
- iii. a variety of building elements, details, finishes and setbacks on the ground floor to create plazas, outdoor dining areas, landscape spaces or open vistas, and
- iv. places for a wide range and rich variety of activities and uses, formal and informal gathering and interaction.

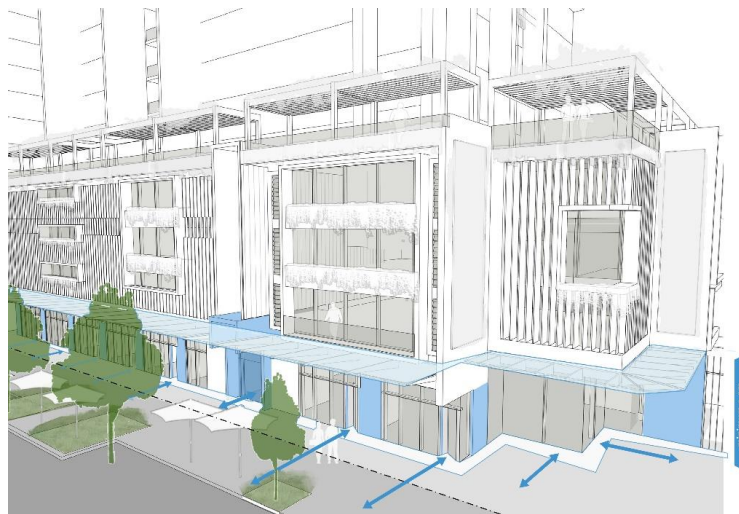


Figure 6: Ground Level Treatment for Non-residential Uses

Residential uses at ground level provide:

- v. direct street access to each ground level dwelling
- vi. landscaping, including deep planting, along a minimum length of 50% of street frontages
- vii. front fences or walls to which are at minimum 50% visually permeable and no higher than 1.5m, and
- viii. a minimum 4.5m ground level ceiling height.

⁴⁹ Where verge widths do not permit full size awnings, a reduction to 2m will be acceptable.



Figure 7: Ground Level Treatment for Residential uses

Podium treatment

Address, activate and provide a visual appeal to street frontages.

Parking in a podium is be sleeved with active uses fronting the street.

Active uses in the podium have safe access.

Include articulations in building facades and landscape treatments to reduce the visual bulk of the building and provide an appropriate transition between the ground floor and upper storeys.

Maintain a strong relationship with the street by framing and activating the public realm and entrance spaces while reinforcing the street hierarchy.

Street or public spaces frontages include windows, doors and balconies that allow for activity, visual connection and passive surveillance.

The lower 4 storeys of the building includes variation in plan shape and vertical profile, balconies, display windows and the like orientated to the street.

Podium tops provide valuable space for communal open spaces and roof gardens.



Figure 8: Podium Treatment for Non-residential Uses



Figure 9: Podium Treatment for Residential uses

Tower treatment	Towers include articulations and varied design details to create visual appeal. Residential towers include balconies and other external protrusions which separate the core from direct solar heating. Balconies on towers are offset so that they maintain privacy of habitable rooms or outdoor spaces and provide visual variety and articulation in the built form.
Landscape	Development provides consistent and cohesive landscape and streetscape treatments, including deep planted feature trees, seating and public art, that contributes to the area's streetscape and urban character.
Public realm	Mixed-use developments provide privately owned plazas and public spaces for social connectivity, meeting points and other temporary uses and displays. Development addresses and provides passive surveillance of its interface with the street and other adjoining public spaces. Streetscape treatments facilitate pedestrian and cycle amenity and safety.

The urban design provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

2.6.4 Industrial Zone

Preferred Development Intent

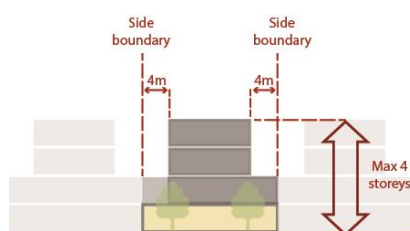
Development provides for a range of industrial and commercial activities such as service industry, low impact industry, limited medium impact industry, warehouses and ancillary showrooms and small scale offices.

Other uses that complement the intended industrial-commercial character of the locality may also occur, such as service station, shop (not exceeding 250m² GFA) and indoor sport and recreation.

Table 8: Acceptable Outcomes – Built From

Maximum plot ratio		2 : 1	
Maximum height provisions		4 storeys	
Building envelope	Front setback	6m	
	Side setback	Up to 2 storeys	0m
		Above 2 storeys	4m
	Rear setback	0m	

FRONT ELEVATION



SIDE ELEVATION

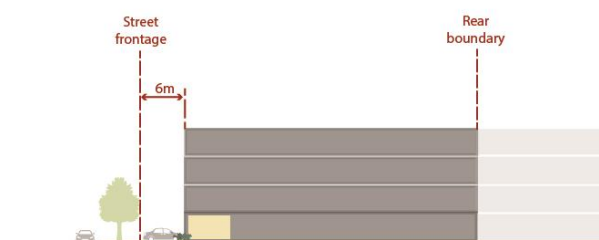


Figure 10: Built Form Provisions - Industrial Zone

Building form	Scale and bulk	A maximum length of 30m on any one outer building wall on the street frontage. A maximum wall length of 10m between building articulations.
	Orientation	Development is oriented to the street frontage. Development on a corner lot is oriented to address both street frontages. Lots are oriented so that buildings can be sited to maximise passive solar design, including generally east-west orientation lots along Abbotsford Road and north-south orientation along all other streets.
	Site Cover	Maximum site cover 75%, not including hardstand areas.
	Fences	Front fences or walls must be 50% visually permeable and no higher than 1.5m.

	Rooftops	Rooftops of large span buildings incorporate natural lighting fixtures. Roofs are designed to ensure plant and equipment are screened or otherwise integrated with the overall roof design. Varied roof forms are incorporated to contribute to the architectural distinction of the building. Roof top areas can be utilised for employee recreation, solar energy, cool roof and green roof uses.
--	----------	---

The built form provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

Table 9: Acceptable Outcomes – Urban Design

Building elements and appearance	Buildings are to be well articulated with varied materials and design details, signage, recessed doors and doorways, windows, shade and screening devices and outdoor planting that provides a distinctively industrial-commercial appearance. Building form allows for cross ventilation and supports a naturally ventilated and comfortable environment.
Landscape	Development provides landscaped areas along a minimum length of 50% of street frontages.
Ground level treatment	Ground level building elements are to introduce a variety of details and finishes. Front entries to all buildings are to be emphasised through architectural and landscape treatment, pedestrian paths and awnings so as to be obvious without the need for signage and address requirements for active frontages. Buildings incorporate appropriate weather protection, screening and shading structures on the building facades to channel breezes, filter sunlight and provide rain protection. Buildings with a width of greater than 30m should be set back from both side boundaries in order to minimise the impact of a continuous built form along the street frontage. Pedestrian generating uses including showroom and office components are located at the street frontage to provide visual interest to the street, create a more activated environment and promote in passive surveillance. Buildings should be designed to address car parking areas with windows and entrances providing passive surveillance.
Public realm	Development addresses and provides passive surveillance of its interface with the street and other adjoining public spaces. Streetscape treatments facilitate pedestrian and cycle amenity and safety.

The urban design provisions are only one way of demonstrating that development is consistent with the relevant PDA development requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

2.6.5 Mixed Industry and Business Zone

Preferred Development Intent

Development provides for a range of commercial, showroom, service industry, low impact industry and warehouse uses on large parcels of land in a business park environment. Uses are focused on knowledge creation and entrepreneurial activities along with complementary uses such as shop (not exceeding 250m² GFA), food and drink outlet, short term accommodation and indoor sport and recreation.

Table 10: Acceptable Outcomes – Built Form

Maximum plot ratio		3 : 1	
Minimum site area		800m ²	
Minimum frontage		20m	
Maximum height provisions		8 storeys	
Building envelope	Front setback	Ground level	3m
		Up to 4 storeys	0m
		Above 4 storeys	6m
	Side setback	Up to 4 storeys	0m where podium car parking. Otherwise 3m
		Above 4 storeys	6m
	Rear setback	Up to 4 storeys	0m where podium car parking Otherwise 6m
		Above 4 storeys	9m

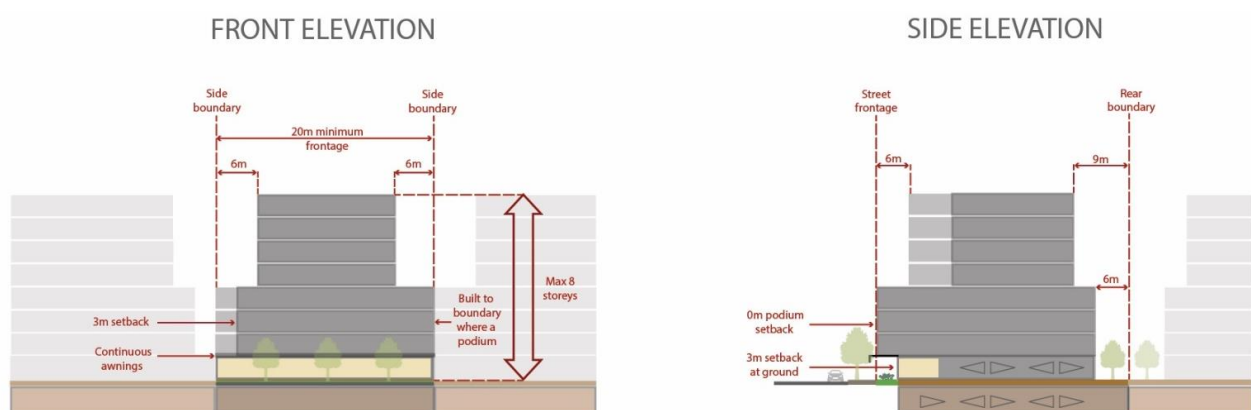


Figure 11: Built Form Provisions – Mixed Industry and Business Zone

Building form	Scale and bulk	Any part of a building above the podium has a maximum site coverage of 60%, and a maximum horizontal dimension of 50m. A maximum length of 30m on any one outer building wall on the street frontage. A maximum wall length of 10m between building articulations.
	Orientation	Development is oriented to address Thompson Street and Murray Street frontages. Development on a corner lot is oriented to address both street frontages.
	Building separations	Above 4 storeys: i. minimum 12m separation distance between commercial buildings, or ii. minimum 18m separation distance from any residential building.
	Fences	Front fences or walls must be 50% visually permeable and no higher than 1.5m.
	Rooftops	Roofs are designed to ensure plant and equipment are screened or otherwise integrated with the overall roof design. Varied roof forms are incorporated to contribute to the architectural distinction of the building. Roof top areas can be utilised for employee recreation, solar energy, cool roof and green roof uses.
Communal open space and facilities		Development of provides universally accessible communal open space: i. a minimum of 10% of the site area ii. a minimum of 40m², having a minimum dimension of 4m iii. as a mix of ground level, vertically integrated or roof top settings iv. respects the privacy of both users and those overlooking from neighbouring properties v. includes landscape and deep planting shade trees or structures suited to the subtropical environment vi. is positioned for good solar orientation and minimises water use, and vii. does not include driveways, storage or turning areas.

The built form provisions are only one way of demonstrating that development is consistent with the relevant PDA development requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

Table 11: Acceptable Outcomes – Urban Design

Building elements and appearance	Development addresses the street with commercial showrooms, retail and industrial tenancies and well defined entries for pedestrians on the ground floor. Buildings are to be well articulated with external facades treatments, varied material and design detail, balconies, recessed doors and doorways, windows, shade and screening devices and outdoor planting that provides a distinctively commercial appearance. Buildings incorporate appropriate weather protection, screening, and shading structures on the building facades to channel breezes, filter sunlight and provide rain protection.
Ground level treatment	Development along Thompson Street and Murray Street activates street frontages through a variety of measures, including varied design concepts and providing a high frequency of front entries or doors to commercial, industrial, retail, community and communal uses. Front entries to all buildings active street frontages and are emphasised through architectural and landscape treatment, pedestrian paths and the provision of continuous awnings. Pedestrian generating uses including showrooms and commercial uses, should be located at the street frontage to provide visual interest to the street, create a more pedestrianised scale and assist in passive surveillance of the public realm. Buildings should be designed to address car parking areas with windows and entrances providing passive surveillance.
Podium treatment	Podiums are designed to address, activate and provide a visual appeal to street frontages. Podiums include articulations in building facades and landscape treatments to reduce the visual bulk of the building and provide an appropriate transition between the ground floor and upper storeys. Podiums maintain a strong relationship with the street by framing and activating the public realm and entrance spaces while reinforcing the street hierarchy. Podium tops provide valuable space for communal open spaces and roof gardens.
Tower treatment	Towers include articulations and varied design details to create visual appeal.
Landscape	Development provides on-site landscape and shade trees that contribute to the area's streetscape and commercial character. Development provides landscaped areas, areas, including deep planting, along a minimum length of 50% of street frontages.
Public realm	Development contributes to an active and safe ground level public realm along Thompson Street and Murray Street. Development addresses and provides passive surveillance of its interface with the street and other adjoining public spaces, including land along Breakfast Creek. Streetscape treatments facilitate pedestrian and cycle amenity and safety. Development provides good pedestrian linkages to Perry Park.

The urban design provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

2.6.6 Sport and Recreation Zone

Preferred Development Intent

Development provides large-scale premises for community facilities, sporting events and occasional recreation and entertainment activities and special events associated with public and community group gatherings, including venues for conferences, private functions, clubs, indoor and outdoor sport and recreation (this could also incorporate ancillary catering, administrative office functions and sale of merchandise and tickets).

Development will consolidate formal sporting facilities within Perry Park and provide enhanced opportunities for more informal recreational facilities and accessible open space.

Development for a complementary use directly related to the core functions of the Sport and recreation zone, including shop (not exceeding 250m² GFA), food and drink outlet, office, health care services or telecommunications facility, may also be accommodated.

Table 12: Acceptable Outcomes – Built Form

Maximum height provisions		3 storeys
Building envelope	Setbacks	Development is setback a minimum 3m from street frontages.
	Site cover	Sporting fields or open space areas equal approximately 70% of the total site area. Any built structures comprise a small component of the total site and must be ancillary and directly associated with the primary use of the site for a major sport and recreation facility.
Building form	Scale and bulk	A maximum length of 30m on any one outer building wall. A maximum wall length of 10m between building articulations.
	Orientation	Development is oriented to the street frontage. Sporting fields are orientated north-south where possible. Pavilions and viewing areas are sited on the western side of the playing field to avoid spectators looking into the afternoon sun. Public open space is located on street edges to maximise accessibility and safety.
	Rooftops	Roofs are designed to ensure plant and equipment are screened or otherwise integrated with the overall roof design. Varied roof forms are incorporated to contribute to the architectural distinction of the building. Roof top areas can be utilised for employee recreation, solar energy, cool roof and green roof uses.
	Lighting	Development provides outdoor lighting which is in compliance with: i. AS 4282-1997 Control of the obtrusive effects of outdoor lighting ii. AS 2560-2007 Sports lighting Part 2.3: Specific applications—Lighting for football (all codes), and iii. AS/NZS 1158 Set: 2010 Lighting for streets and public spaces.

The built form provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

Table 13: Acceptable Outcomes: Urban Design

Building elements and appearance	Development provides distinctive form and appearance at the corner of Abbotsford Road and Folkestone Street and addresses both frontages. Buildings are well articulated with external facades treatments, varied material and design detail, balconies, recessed doors and doorways, windows, shade and screening devices and outdoor planting to reduce the visual bulk of the building. Development provides a well-defined entry point for pedestrians. Building form allows for cross ventilation and supports a naturally ventilated and comfortable environment. Buildings incorporate appropriate weather protection, screening and shading structures on the building facades to channel breezes, filter sunlight and provide rain protection. As far as possible, shadows from buildings or evergreen tree canopy shall not encroach upon the playing field between the hours of 9.00am and 3.00pm, as determined by the winter solstice sun angle.
Ground level treatment	Front entries to all buildings activate street frontages and are emphasised through architectural and landscape treatment, pedestrian paths and awnings to offer shelter and protection from the elements. Pedestrian generating uses including showroom and office uses, should be located at the street frontage to provide visual interest to the street, create a more pedestrianised scale and assist in passive surveillance of the public realm.
Amenity	Development does not impose unreasonable adverse amenity impacts on the surrounding residential area in terms of its location of buildings, vehicle access areas, lighting or operations.
Landscape	Existing on-site vegetation (trees) is retained. Development provides on-site landscape and shade trees that contributes to the area's streetscape. Development provides landscaped areas along a minimum length of 50% of street frontages.
Public realm	Development contributes to an active and safe public realm by addressing the ground level along Edmonstone Road and Abbotsford Road. Streetscape treatments facilitate pedestrian and cycle amenity and safety. Development facilitates passive surveillance and provides good sightlines to publicly accessible areas such as car parks, pathways, public toilets and communal areas. Development provides good pedestrian linkages to Perry Park. Development includes way-finding cues and minimises predictable routes and entrapment locations near public spaces.

The urban design provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

2.6.7 Open Space Zone

Preferred Development Intent

Land in the open space zone caters for a full range of publicly accessible outdoor recreation, informal sport or events on a casual basis and the facilities and embellishments associated with these such as picnic amenities, playground, shade trees and landscaped areas.

Physical structures within the Open space zone occupy only a small part of any site and may include pedestrian and cycle pathways, shelters, facilities for spectators, club buildings and associated off-street parking facilities.

Development ensures that any buildings, structures and ancillary facilities support the primary intent of the zone for recreation and informal sporting uses and are compatible in scale, bulk, design and character of a park.

2.6.8 Special Purpose (Transport) Zone

Preferred Development Intent

Development provides for infrastructure, activities and associated facilities that support the effective functioning of the transport system including:

- i. rail lines, stations and associated facilities
- ii. major road tunnels, bridges and intersections and infrastructure not otherwise included in a road reserve.

In addition to providing for this infrastructure, the zone caters for a range of activities and facilities for recreational and community purposes including pedestrian and cycle paths, landscaped areas and incidental open space.

Opportunities for building over infrastructure within the Special purpose (transport) zone are facilitated, where compliance with the provisions of the zone immediately adjoining the Special purpose (transport) zone can be demonstrated.

Development Provisions

Development does not unreasonably constrain the future provision of public transport infrastructure (including rail, light rail, road, busway and cycle infrastructure) and does not adversely impact on the function or operation of existing or future public transport corridors including rail, light rail or busway corridors.

Where building over infrastructure is proposed, appropriate clearances must be maintained to ensure the safety of the operation of both the infrastructure and development.

Development may provide opportunities for building over infrastructure corridors and providing air rights above these corridors. Development that integrates with the Bowen Hills Railway Station must provide substantial improvements to the station itself, station access and the station's interface with the public realm.

Development may experience a reduced level of amenity due to emissions (e.g. vibration, noise, light and odour) from the transport infrastructure within in the zone, including the ICB, rail lines, Clem Jones Tunnel (including ventilation outlet), Airport Link and arterial roads. Development that would be sensitive to these impacts is designed, sited and constructed to achieve acceptable levels of amenity.

2.6.9 Specialised centre (entertainment) zone

Preferred Development Intent

Development supports the use of the Old Museum and Brisbane Showgrounds, providing areas and large-format facilities for library, museum or gallery, exhibition, event, festival, concert, conference, showground, public or community group gatherings, indoor and outdoor sport and recreation, private functions, trade exhibitions and displays, plus ancillary office, catering, light refreshments and sale of merchandise.

Other uses that complement the core functions of the Old Museum and Brisbane Showgrounds, including short term accommodation, shop (not exceeding 250m² GFA), food and drink outlet, office, health care services or telecommunications facility, may also be accommodated.

Development builds upon the long standing historic role of the Old Museum and the Brisbane Showgrounds in their contribution to the overall character and identity of Bowen Hills.

Outside the times of year that the Royal Queensland Show operates, the Brisbane Showgrounds is used as an events and exhibition precinct. It is also used to provide car parking for Royal Brisbane and Women's Hospital employees.

Development provides enhanced pedestrian permeability through the sites acting as a connector between surrounding development and the Royal Brisbane and Women's Hospital, the Exhibition Railway Station and Fortitude Valley.

The heritage values of individual sites and the zone as a whole are protected and enhanced.

Table 14: Acceptable Outcomes – Built Form

Maximum height provisions	5 storeys
Scale and bulk	Development: i. ensures that all buildings, structures and ancillary facilities support the preferred development intent of the zone and are compatible in scale, bulk, design and character with the surrounding area ii. is strategically and logically located on site incorporating a range of heights and materials that are highly characteristic of the site's location and identity, and iii. improves aesthetics and local amenity of the surrounding public realm.

The built form provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.

Table 15: Acceptable Outcomes – Urban Design

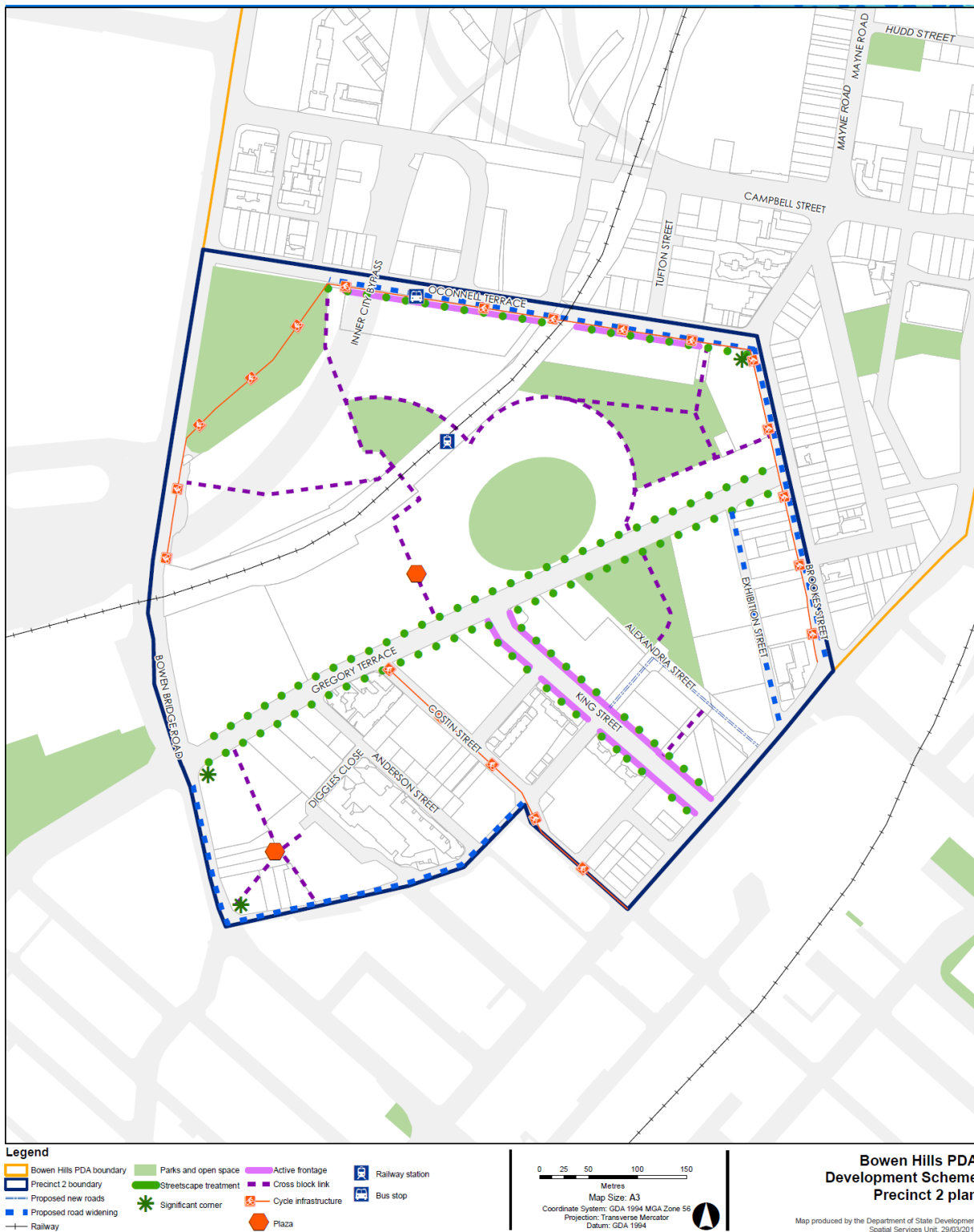
Building Elements and Appearance	Development retains or adapts the heritage, character, cultural features and history of the site and surrounding area. New buildings and works adjacent to retained and adapted heritage buildings, spaces and elements will have an appropriate interface respecting their heritage significance. Where the Brisbane Showgrounds interface with the Old Queensland Museum the detailed design of the buildings and works will create a positive visual and functional relationship. Development maintains the presence, legibility and sense of entry to the Brisbane Showgrounds.
---	--

	Development promotes safety and minimises opportunities for graffiti and vandalism through exterior building design, orientation of buildings and the use of active frontages. Development provides outdoor lighting which is in compliance with: i. AS 4282-1997 Control of the obtrusive effects of outdoor lighting ii. AS 2560-2007 Sports lighting Part 2.3: Specific applications—Lighting for football (all codes), and iii. AS/NZS 1158 Set: 2010 Lighting for roads and public spaces. The built form is supported by legible and permeable circulation networks which build and enhance the existing patterns and fabric of the site, including the EKKA walk which meanders through the site as the primary pedestrian circulation route.
Amenity	Development does not impose unreasonable adverse amenity impacts on the surrounding residential area in terms of its location of buildings, vehicle access areas, lighting or operational matters. Development ensures that the views and vistas of important places, spaces and buildings are retained and enhanced.
Landscape	Existing on-site vegetation (trees) is retained. Development provides on-site landscape and shade trees and vertical greenery that provides shading and local cooling, contributes to the area's streetscape and creates opportunities for relaxation and recreation.
Public realm	Development must contribute to a vibrant and safe public realm by activating the street at the ground level for extended hours of the day, where possible. This is particularly important during those times of the year when the annual EKKA event does not operate. Streetscape treatments facilitate pedestrian and cycle amenity and safety. Development facilitates passive surveillance and provides good sightlines to publicly accessible areas such as car parks, pathways, public toilets and communal areas. Development provides good pedestrian linkages throughout the Brisbane Showgrounds. Development includes way-finding cues and minimises predictable routes and entrapment locations near public spaces. Development promotes legible active pedestrian entrances, minimising the number and size of vehicle access points and using appropriate street treatments.
The urban design provisions are only one way of demonstrating that development is consistent with the relevant PDA Development Requirements. The MEDQ will consider alternative performance-based solutions that are consistent with the PDA Development Requirements.	

2.7 Precinct Provisions

Select land in the Bowen Hills PDA is included in a precinct. The boundaries of precincts are shown on Map 9. As applicable, development is required to meet and will be assessed against the provisions for each precinct as detailed below. Precinct provisions prevail where there is a conflict with a Zone provision.

Map 8: Precinct Boundaries



2.7.1 Precinct 1

Planned outcomes for Precinct 1 are shown on Map 10 and detailed below. Precinct 1 includes all land located in the area bound by Abbotsford Road, Markwell Street, St Pauls Terrace, Brookes Street, O'Connell Terrace, Tufton Street and the Inner City Bypass.

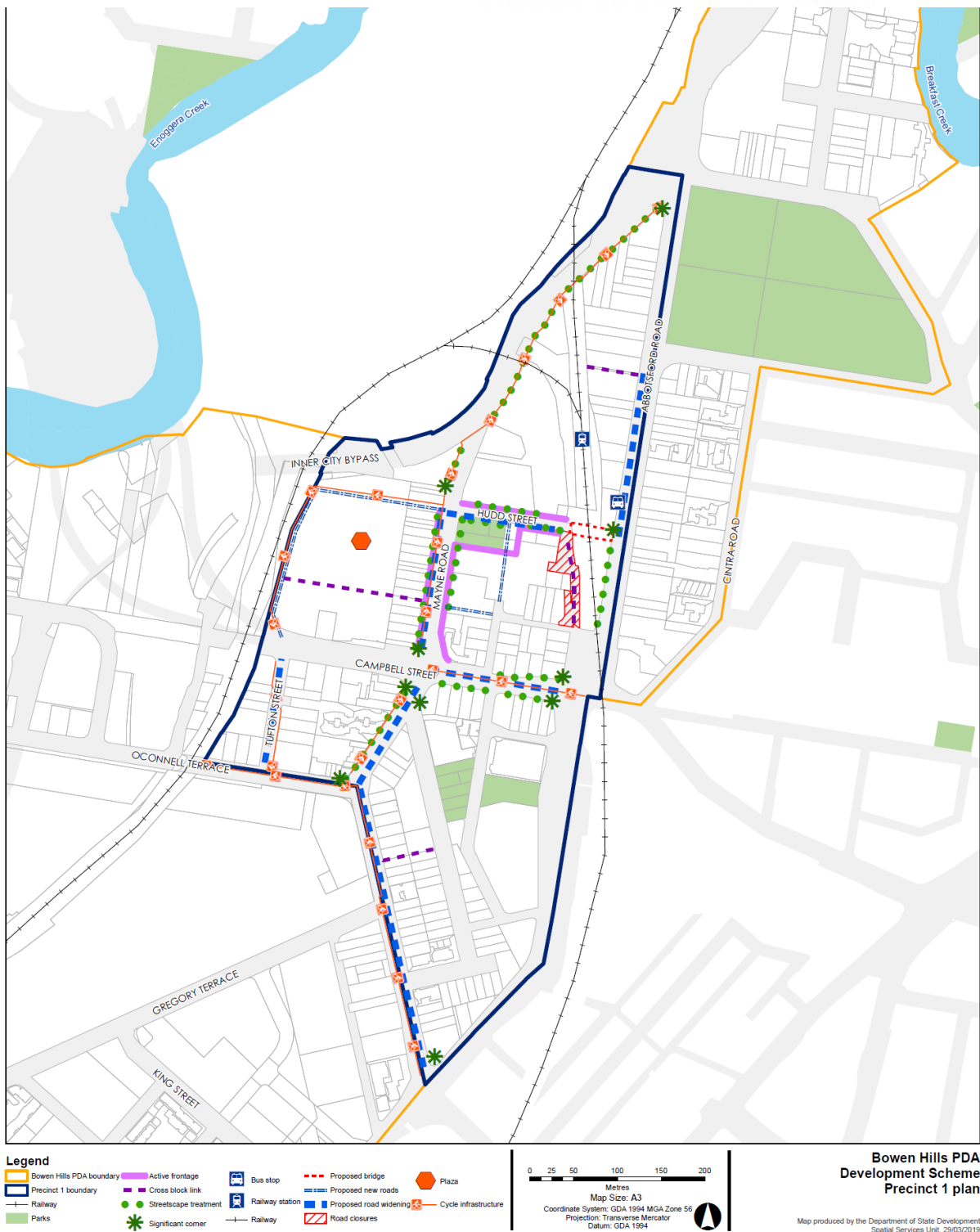
Table 16: Precinct 1 Provisions

Preferred development intent	Development incorporates active frontages along Mayne Road and Hudd Street delivering a mix of retail, commercial and community uses along the ground plane. Development adjoining the Bowen Hills Railway Station provides new access points and improved connectivity and integration with the station.	
Built form	Shop frontages, articulated building access points and continuous awnings over the footpath activate the ground plane of Hudd Street and Mayne Road, which form major activity spines and become the focus of retail shopping and social life. Showroom windows address the northern side of the Airport Link ramp to Campbell Street presenting the retail character of the area to passing vehicles. Large floor plate retail is sleeved by small scale (i.e. less than 250m²) shops, food and drink outlets, community uses and other similar uses, which will activate the precinct day and night. Buildings are able to span across the railway corridor creating opportunities for additional development, public plazas and a new access to the Bowen Hills Railway Station. Any development within, over or under a rail station or corridor must protect the station and corridor's function and operation.	
Urban design	Attractive streetscape treatments including awnings over wide footpaths, street furniture, pavement treatments, parallel on-street parking, public art installations and landscaped verges are established along Mayne Road and Hudd Street, contributing to their setting as community and economic focal points for the PDA. Landscaped verges, street furniture, public art installations and pavement treatments are established at Streetscape treatment locations identified on Map 10. Retail tenancies have a visible presence and interaction with the street and open on to the park at the intersection of Mayne Road and Hudd Street. Parks are developed as attractive community focal points with spaces and facilities for recreation, pathways, landscape and park furniture. Ground level building and landscape design contributes to the identification of Bowen Hills as a distinct destination at Significant corner locations.	
Infrastructure	Parks and plazas	A new park is located on the southern side of the Mayne Road and Hudd Street intersection. The park collocates with activated retail frontages, cycling routes and streetscape treatments along Mayne Road and Hudd Street. Parks are located at Jeays Street and Hurworth Street. A major new civic plaza west of Mayne Road will deliver a multi-purpose community and cultural hub providing space for social interaction, community and group activities, information, art and cultural activities and events.
	Community facility	Development provides a multi-purpose community hub within proximity of the Bowen Hills Railway Station. Community facilities are provided as an integrated component of mixed-use developments. Community facilities are accessed directly from street frontages and are clearly signed and identifiable to visitors.

	Connectivity	Development provides publicly accessible cross block links providing pedestrian connection: i. between Brookes Street and the Jeays Street park ii. between Mayne Road and the Tufton Street extension iii. to the Bowen Hills railway station from Abbotsford Road iv. between Hudd Street and Edgar Street, and v. between Mayne Road and Edgar Street. The precinct will accommodate a new local street network which will include: i. widening of Mayne Road (western side) to accommodate vehicular and cycle traffic ii. widening of Hudd Street (southern side) to accommodate vehicular traffic iii. a two way vehicle and pedestrian bridge spanning the railway corridor between Hudd Street and Abbotsford Road, providing improved connectivity across the railway corridor iv. a new street linking Hudd Street and Mayne Road through to O'Connell Terrace, via Tufton Street. This street will be a principal means of access into the precinct from the area south of Campbell Street v. Hazelmount Street extended through to Hudd Street vi. Edgar Street extended through to Mayne Road vii. Closure of Jamison Street between Hudd Street and Edgar Street⁵⁰, and viii. cycle infrastructure that provides safe and efficient cycle connection through the precinct.
	Public transport	Development is coordinated to provide: i. pedestrian concourse delivering safe and improved access to the Bowen Hills Railway Station between Hudd Street and Abbotsford Road ii. upgrades to the Bowen Hills Railway Station including improved platform access and potential corridor widening, and iii. a rail and bus interchange is located adjacent to the Bowen Hills Railway Station on Abbotsford Road.

⁵⁰ The closure of Jamison Street will occur, fully or in part, when the bridge spanning the railway corridor between Hudd Street and Abbotsford Road is constructed. This closure occurs due to a difference in road levels when the bridge is constructed, resulting in Jamison Street no longer being connected to Hudd Street.

Map 9: Precinct 1 Plan



2.7.2 Precinct 2

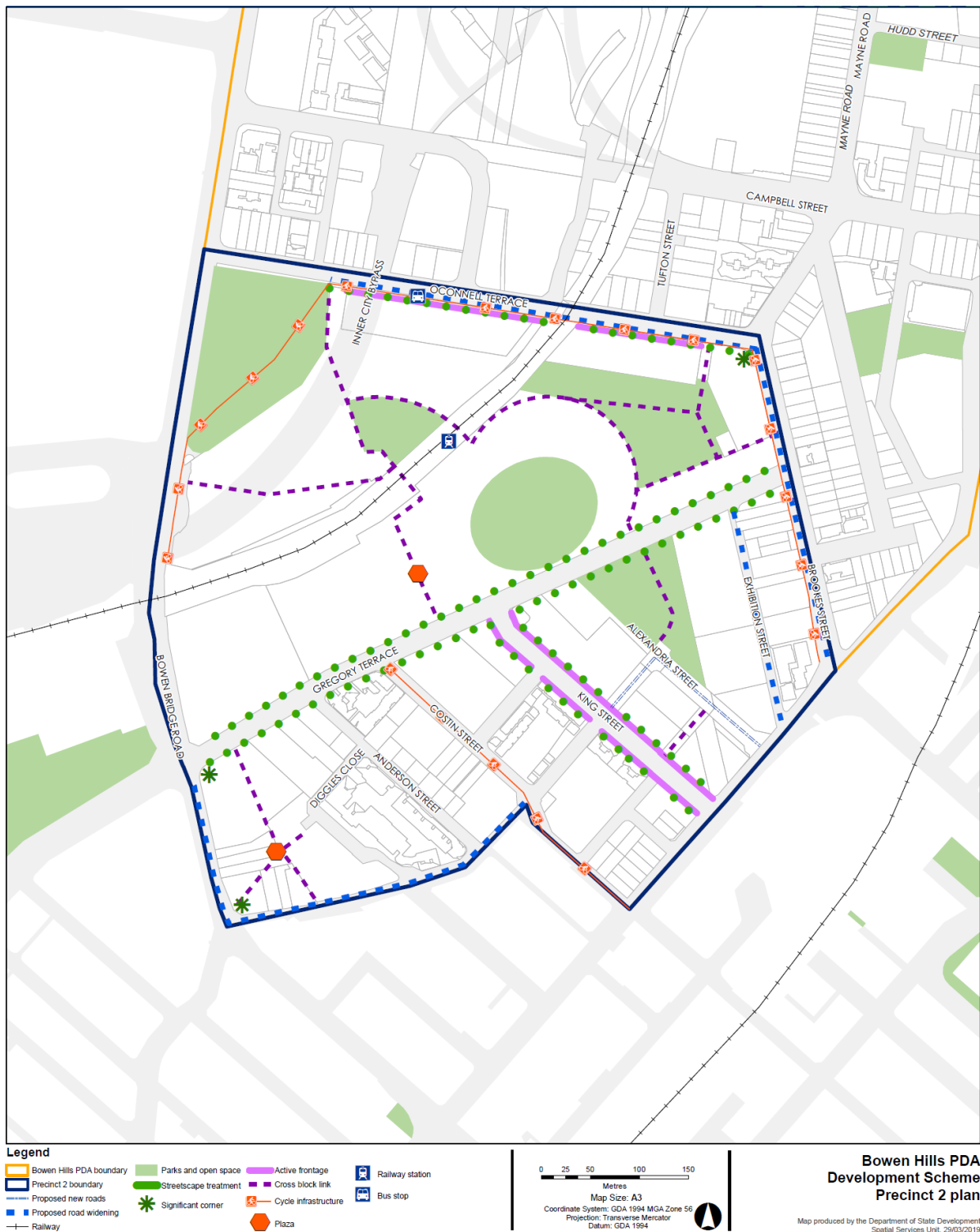
Planned outcomes for Precinct 2 are shown on Map 11 and detailed below. Precinct 2 includes all land located in the area bound by O'Connell Terrace, Brookes Street, St Pauls Terrace, Costin Street, Water Street and Bowen Bridge Road.

Table 17: Precinct 2 Provisions

Preferred development intent	Development of active frontages along the ground plane of King Street, O'Connell Terrace and Brookes Street delivers a mix of retail, commercial and community uses.
Built form	Shop frontages, articulated building access points and continuous awnings over the footpath activates the ground plane of King Street, O'Connell Terrace and Brookes Street. Large floor plate retail is sleeved by small scale (i.e. less than 250m²) shops, food and drink outlets, community uses and other similar uses, which will activate the precinct day and night. Development adjoining Bowen Park and the Old Queensland Museum must respect their heritage values and be designed and oriented to enhance their amenity, safety, and surveillance. Increased building heights can be considered for new buildings on the northern boundary of the Old Museum site, where being developed as part of an overarching rehabilitation and renewal of the State heritage place by the state, or an entity acting for the state. Development along O'Connell Terrace, Brookes Street and Exhibition Street must address both street frontages and publicly accessibly spaces within the Brisbane Showgrounds. Innovative building design contributes to the identification of Bowen Hills at major entrance points to the precinct, including at the southern side of the intersection of Brunswick Street and Gregory Terrace and the intersection of Brookes Street and O'Connell Terrace. Development along the southern side of O'Connell Terrace provides a 4m setback on the ground floor to provide space for pedestrian movement, outdoor dining, retail display and embellishments such as landscape treatment and public art installations which improve amenity and activate the ground plane.
Urban design	Attractive streetscape treatments including awnings over wide footpaths, street furniture, pavement treatments, parallel on-street parking, public art installations, landscaped verges are established along King Street and O'Connell Terrace contributing to their setting as community and economic focal points. Landscaped verges, street furniture, public art installations and pavement treatments are established at Streetscape treatment locations identified on Map 11. Ground level building and landscape design contributes to the identification of Bowen Hills as a distinct destination at significant corner locations. Important views and vistas to and from the Old Museum and Brisbane Showgrounds will be maintained including: - to Show Ring 2 & John Macdonald Stand from Bowen Park and Royal Brisbane Women's Hospital - into Side Show Alley from Bowen Bridge Road - Gregory Terrace Streetscape views towards Show Ring 1 (north) - Gregory Terrace Streetscape Views Towards Show Ring 1 (South) - along Alexandria Street Towards Show Ring 1 and John Macdonald Stand, and - to Stockagents Building from Stockman's Rest.

Infrastructure	Parks and plazas	Open spaces located within the Brisbane Showgrounds are publicly accessible during non-event periods. Civic plazas provide space for social interaction, community and group activities, information, art and cultural activities and events at: i. the Brisbane Showgrounds between the Exhibition Railway Station and Gregory Terrace, and ii. between Diggles Close and Bowen Bridge Road.
	Connectivity	Development provides publicly accessible cross block links providing pedestrian connections: i. through the Brisbane Showgrounds between O'Connell Terrace and Gregory Terrace ii. through the Brisbane Showgrounds between Exhibition Railway Station and Bowen Bridge Road iii. between King street and Alexandria Street iv. between Anderson Street and Costin Street near and linking to Carriage Street v. between Water Street and Gregory Terrace, and vi. between Diggles Close and Bowen Bridge Road. The precinct will accommodate key upgrades to the street network as follows: i. widening of O'Connell Terrace to accommodate two lanes of vehicular traffic and separated cycle way, and ii. widening of Brookes Street to accommodate upgraded footpaths, separated cycle way. New controlled intersections at: i. Tufton Street and O'Connell Terrace, and ii. King Street and St Pauls Terrace.
	Public transport	Upgrades to the Exhibition Railway Station and associated railway corridor are delivered as part of the Cross River Rail project. Access to Exhibition Railway Station will be clearly signed and identifiable to visitors on O'Connell Terrace, Gregory Terrace, Brookes Street and Bowen Bridge Road. A bus stop is located adjacent to the Exhibition Railway Station access point on O'Connell Terrace. Providing a rail and bus interchange function. Upgrades to the Exhibition Railway Station include improved platform access for pedestrian movements to the Old Museum.

Map 10: Precinct 2 Plan



3 Infrastructure Plan

3.1 Purpose

The purpose of this Infrastructure plan is to ensure that the vision is achieved through:

1. integrating infrastructure planning with land use planning identified in this development scheme
2. identifying the infrastructure requirements to be delivered by the local government, state government, water supply and sewer provider or developers, and
3. providing a basis for imposing conditions on development approvals responding to the increased demand on the relevant infrastructure networks

3.2 Relation to Development Charges and Offset Plan

The infrastructure plan section of this development scheme is to be applied in conjunction with the Bown Hills PDA Development Charges and Offsets Plan (DCOP). The DCOP incorporates infrastructure planning, charges and offsets processes into an integrated document for the PDA and sets out the following:

- i. development charges for the provision of trunk infrastructure,
- ii. trunk infrastructure plans and schedules of works identifying trunk infrastructure for which an offset against infrastructure charges shall be available, and
- iii. matters relevant to calculating an offset or refund for the provision of trunk infrastructure.

The DCOP is supported by an Infrastructure Planning Background Report (IPBR). The IPBR documents information relevant to infrastructure planning and development charging for the PDA, such as growth and development assumptions and identified desired standards of service.

3.3 Infrastructure Networks

The following infrastructure networks require additional infrastructure provision or upgrades to support growth in the PDA:

1. Transport (roads, intersections, pedestrian and cycle paths)
2. Public Realm
3. Parks, Public Realm and Community Facilities
4. Stormwater (Quantity and Quality)
5. Water Supply
6. Sewerage.

Table 3 below identifies key infrastructure that will be provided to enable the Vision to be delivered.

3.4 Infrastructure Categories

The infrastructure planned to be delivered within the PDA will fall into one of the following categories:

1. Trunk Infrastructure
2. Non-trunk Infrastructure
3. Other Infrastructure.

Table 3 includes infrastructure which is trunk infrastructure, non-trunk infrastructure and other infrastructure. As such, the inclusion of infrastructure in Table 3 does not make it eligible for an infrastructure charges offset. To determine if infrastructure is eligible for an offset, refer to the Development Charges and Offset Plan (DCOP).

3.4.1 Trunk Infrastructure

Trunk infrastructure is the high order shared infrastructure that is planned to service the wider catchments in the PDA, rather than individual development sites. Trunk infrastructure may be delivered by the relevant infrastructure provider such as Brisbane City Council, Queensland Urban Utilities (QUU) or EDQ, or by developers if required by a condition of a PDA development approval. Infrastructure plans for the PDA are established in the DCOP.

3.4.2 Non-trunk Infrastructure

Non-trunk infrastructure is the lower order infrastructure which generally services a single development site, is internal to a development site, or connects the development site to trunk infrastructure.

Non-trunk infrastructure will be provided by the applicant, in accordance with the relevant responsible entity's requirements and as specified in a condition of a PDA development approval. Non-trunk infrastructure will not be eligible for a charges offset.

3.4.3 Other Infrastructure

Other infrastructure includes infrastructure which is not part of Brisbane City Council or QUU's infrastructure networks. Other infrastructure may include necessary development infrastructure or provision for upgrades to the electricity, gas, telecommunications or state transport networks.

Other infrastructure may be delivered by the Local or State Government, other infrastructure providers or by developers who may be required to deliver or preserve the ability to provide this infrastructure by a condition of a PDA development approval.

Table 18: Infrastructure catalogue for the Bowen Hills PDA

Infrastructure category	Details
Transport	
Streets, intersections and active transport	As required to service the PDA and may include upgrades to: • Abbotsford Road –street improvements and active transport improvements • Brookes Street – street improvements and active transport improvements • Brookes Street, Hamilton Place and O'Connell Terrace – intersection works • Burrows Street – street improvements and active transport improvements • Campbell Street – street improvements • Campbell Street and Hazelmount Street – intersection works • Campbell Street and Hurworth Street – intersection works • Carriage Way – street improvement • Edgar Street – Edgar Street extended through to Mayne Road • Edmonstone Road – street improvements and active transport improvements • Exhibition Street – street improvements • Hamilton Place – street improvements and active transport improvements • Hazelmount Street - street improvements and extension of street to Hudd Street • Tufton Street – street improvements and active transport infrastructure • New Street – new street linking Hudd Street and Mayne Road through to O'Connell Terrace, via Tufton Street • Hudd Street – street improvements • Hudd Street bridge – vehicle and pedestrian bridge spanning the railway corridor • Machinery Street – new street • Mayne Road – street improvements and active transport improvements • Mayne Road and Edgar Street – intersection works • O'Connell Terrace – street improvements and active transport improvements • Thompson Street – street improvements and active transport improvements • Thompson Street and Murray Street – intersection works • Thompson Street and Edmonstone Road – intersection works • Gregory Terrace and Brookes Street – intersection works • St Pauls Terrace and Constance Street – intersection works • King Street and St Pauls Terrace – intersection works • Costin Street and Gregory Terrace – intersection works • Costin Street – street improvements • Gregory Terrace – street improvements • St Pauls Terrace – street improvements. In addition to the items listed above, all other streets in the Bowen Hills PDA may require upgrades, improvements or widening to deliver the carriageway, parking or verge width specifications for its functional design.

Infrastructure category	Details
Public transport	As required to service the PDA and may include: - widening of railway corridors - upgrades to the Bowen Hills Railway Station including improved platform access, potential corridor widening and pedestrian concourse delivering safe and improved access to the Bowen Hills Railway Station between Hudd Street and Abbotsford Road - upgrades to the Exhibition Railway Station and associated railway corridor delivered as part of the Cross River Rail project - a new rail and bus interchange to service the Exhibition Railway Station - a new rail and bus interchange on Abbotsford Road to service the Bowen Hills Railway Station.
Parks, Public realm and Community Facility	
Parks	As required to manage the impacts of development within the PDA and may include: - Jeays Street Park improvements - Perry Park improvements - Hurworth Street Park improvements - Alexandria Street Park improvements - a new park on Mayne Road.
Public realm	As required to manage the impacts of development within the PDA and may include: - streetscape improvements on Hudd Street - streetscape improvements on Mayne Road - streetscape treatments on O'Connell Terrace - landscape and pavement treatments on Gregory Terrace.
Community facilities	As required to manage the impacts of development within the PDA and may include: - a branch library - a pedestrian concourse adjacent to the railway corridor near the Bowen Hills Railway Station - a multi-purpose community hub.
Stormwater	
Detention and treatment	As required to manage the impacts of the PDA.
Water Supply and Sewer	
Potable water	As required to service the PDA and may include augmentations to: - internal water supply reticulation - main at Campbell Street - main at Montpelier Road - main at Jordan Terrace - main at Herston Road - main at Gregory Terrace.
Sewer	As required to service the PDA and may include augmentations to: - Bowen Hills by-pass – main to by-pass upstream flows to the S1 tunnel - gravity main at Brookes Street - gravity main at St Pauls Terrace between Brookes Street and King Street - gravity main at Markwell Street - local trunk sewer to connect to the Best Street odour facility and S1 tunnel (Markwell Street catchment) - gravity main at Water Street - gravity main at Thompson Street.

Infrastructure category	Details
Electricity and	
Electrical network	As required to service the PDA.
Telecommunications	
Telecommunications network	As required to service the PDA.

3.5 Infrastructure Charges, Funding and Conditions

Conditions of PDA development approval will identify the requirement to pay development charges set out in the DCOP, or to deliver the trunk infrastructure identified in the DCOP. Infrastructure may be required to be delivered in accordance with a detailed Infrastructure Master Plan prepared to support a development application, or as required by a condition of PDA development approval.

The infrastructure identified in Table 3 will be funded from a combination of development charges and other revenue sources. State infrastructure funding may be provided through Federal Government grants. State expenditure on trunk infrastructure will be subject to consideration through normal state budgetary processes and will be part of an approved state agency capital works program.

Not all the works identified in Table 3 will be delivered through conditions of PDA development approval. Some infrastructure may be delivered by other entities such as local government, state government or other infrastructure providers.

The infrastructure identified in Table 3 reflect the current understanding of required infrastructure to support development in the PDA at the time of publication. However, further detailed infrastructure investigations will occur as development progresses.

Infrastructure requirements and delivery responsibilities will be reviewed and may be amended over time to reflect the outcomes of these investigations and changing circumstances. Infrastructure requirements established in the conditions of a PDA development approval must be delivered at the time of development occurring, unless otherwise agreed with EDQ.

3.6 Infrastructure Agreements

An infrastructure agreement may be negotiated and entered into with MEDQ and other relevant infrastructure providers to address the provisions and requirements of the infrastructure plan⁵¹. To the extent an infrastructure agreement is inconsistent with a PDA development approval, the infrastructure agreement prevails⁵².

3.7 Infrastructure Standards

Infrastructure will be delivered in accordance with conditions of PDA development approval, which will identify the relevant infrastructure standards in effect at the time of PDA development approval, or alternatively, Infrastructure Master Plan Approval. These standards may be:

- i. Economic Development Queensland identified standards⁵³
- ii. Local/State Government standards; or
- iii. Infrastructure provider standards.

⁵¹ Refer to Bowen Hills PDA Infrastructure Planning Background Report

4 Implementation Strategy

The ED Act⁵⁴ requires a development scheme to include an implementation strategy to 'achieve the main purposes of the ED Act for this area, to the extent that they are not achieved by the Land use plan or the plan for infrastructure'.

The Implementation strategy for the development scheme fulfils this requirement by identifying a suite of actions that support the achievement of the Vision and support the delivery of economic development and development for community purposes within the PDA.

The Implementation strategy includes projects and actions that may require involvement from a range of stakeholders including private interests and departments from across various levels of government.

4.1 Place Management

Objective

Manage the progressive renewal of private and state government land and enabling infrastructure and services within the Bowen Hills PDA.

Actions

1. Plan making – Economic Development Queensland is the delegated planning authority for the Bowen Hills PDA and has prepared the development scheme and Development Charges Offset Plan which establishes the land use and infrastructure plans regulatory instruments to manage growth and development.
2. Development assessment – Economic Development Queensland is the delegated development assessment authority for the Bowen Hills PDA and is responsible for the assessment and approval of new development proposals in the PDA.
3. Infrastructure delivery – Economic Development Queensland will progressively fund and deliver new infrastructure and upgrades to existing infrastructure to catalyse investment in property development and business enterprise.

4.2 Connectivity

Objective

Facilitate the delivery of streets, pathways and public spaces in Bowen Hills which provide permeability and connectivity to destinations within and surrounding the PDA.

Actions

1. Infrastructure delivery – EDQ will seek to establish partnerships with Brisbane City Council to facilitate the timely delivery of planned street, pedestrian and cycling infrastructure.
2. Infrastructure delivery – work with the Department of Transport and Main Roads, Translink and Queensland Rail to facilitate the timely delivery of planned public transport infrastructure and services.
3. Development assessment process – where necessary, land required for infrastructure will be secured through conditions of approval.
4. Cross block links – EDQ will facilitate the delivery of cross block links as part of an integrated design solution for suitably sized developments proximate to the locations identified in the precinct plans.

⁵⁴ See section 57 of the ED Act.

4.3 Infrastructure Planning and Delivery

Objective

Facilitate the delivery of all necessary urban infrastructures required to support ongoing community growth and development.

Actions

1. Infrastructure delivery – EDQ will form partnerships with other state government entities, Brisbane City Council, Queensland Urban Utilities and Energex to invest in the delivery of state and trunk infrastructure network items where they are required to facilitate ongoing investment and economic development in the PDA.
2. Infrastructure delivery – Energex to be notified of any works occurring within an electricity easement.
3. Financing – trunk infrastructure will be financed through the collection of infrastructure charges. Investment facilitating the delivery of trunk infrastructure may be subject to coordinated decisions across private interests and various levels of government. The prioritisation and feasibility of trunk infrastructure delivery will be determined on a case-by-case basis at the time they are proposed for commencement.

4.4 Conservation and Adaptive Re-use of Heritage Buildings and Places

Objective

The adaptive re-use of heritage places within the PDA will continue to promote the rich history and unique identity of Bowen Hills.

Actions

1. Respond to the cultural significance of the place in accordance with the Department of the Environment, Tourism, Science and Innovation Guideline: Developing Heritage Places.
2. Implement conservation management plans to manage the construction and operational impacts on heritage places, and to provide guidance for their ongoing care and maintenance⁵⁵.
3. EDQ will consult with the Department of the Environment, Tourism, Science and Innovation and the Queensland Heritage Council to obtain advice regarding all significant heritage matters for development on or adjacent to State heritage places.
4. EDQ will consult with Brisbane City Council to obtain advice regarding all significant heritage matters for development on or adjacent to local heritage places.

In those circumstances where approval is given to remove or demolish part of a heritage place, it is to be appropriately documented prior to removal or demolition and submitted to the assessment manager⁵⁶.

Conservation, revitalisation and adaptive re-use of the Old Museum may involve new development on the site and adjacent rail corridor by the state. New development will form part of an overarching strategy to rehabilitate and re-use the Old Museum through innovative site design which delivers improved pedestrian permeability and integration with the Brisbane Showgrounds and Exhibition Railway Station.

⁵⁵ Development demonstrates practical conformance with the requirements, standards and guidance identified in the Department of the Environment, Tourism, Science and Innovation Guideline: Conservation Management Plans document, as amended and replaced from time to time. A conservation management plan may be required as a condition of a PDA development approval.

⁵⁶ Refer to the Department of the Environment, Tourism, Science and Innovation guideline about archival recording available at <http://www.ehp.qld.gov.au/assets/documents/land/heritage/archival-recording-heritage-places.pdf>.

5 Schedules

5.1 Schedule 1: Categories of Development

The following categories of development apply to all development within the PDA.

Table 19: Categories of Development

Column 1 – PDA accepted development	Column 2 – PDA assessable development	
	Column 2A - Permissible development	Column 2B - Prohibited development
All development specified in Schedule 2. Material change of use for a home-based business if complying with all acceptable outcomes in Brisbane City Council's home-based business code. Material change of use, where a change of an existing premises, for an <i>Appropriate use</i> for a zone listed in Table 2A column 1, where: - not involving building work (other than minor building or demolition work) - not on a heritage place, and - not a sensitive use located on property that is identified on: - Brisbane City Plan Waterways corridor overlay map - Brisbane City Plan Coastal hazard overlay map - Brisbane City Plan Flood overlay map - Brisbane City Plan Industrial amenity overlay map, or - Map 5 Point source pollutants.	All development (other than development specified as PDA accepted development or Prohibited development) carried out on a heritage place, or a premises adjoining a heritage place. All other development not specified as PDA accepted development or PDA assessable development - Prohibited development.	Material change of use for: - extractive industry - high impact industry⁵⁷ - relocatable home park - special industry - tourist park Material change of use for a <i>prohibited use</i> for a zone listed in Table 2A column 2.

Table 20: Appropriate and Prohibited Uses for Particular Zones

Column 1 - Appropriate uses	Column 2 - Prohibited uses
Medium density residential zone	
Appropriate uses: - caretaker's accommodation - community facilities - community residence - dual occupancy - dwelling house - multiple dwelling - retirement facility - short-term accommodation	Prohibited uses: - adult store - low impact industry - medium impact industry - shopping centre - showroom - transport depot - warehouse
High density residential zone	

⁵⁷ Except for fuel burning for power generation with an installed capacity of more than 0.1 MW, if: less than 10 MW, and not involving coal combustion.

Appropriate uses: • caretaker's accommodation • community facilities • community residence • dual occupancy • dwelling house • multiple dwelling • retirement facility • short-term accommodation	Prohibited uses: • adult store • low impact industry • medium impact industry • shopping centre • showroom • transport depot • warehouse
Mixed use zone	
Appropriate uses: • caretaker's accommodation • community residence • dual occupancy • dwelling house • food and drink outlet where located at ground level and not exceeding 250m² of GFA per tenancy • indoor sport and recreation • multiple dwelling • office • retirement facility • research and technology industry where located at ground level and not exceeding 250m² of GFA per tenancy • rooming accommodation • service industry not exceeding 250m² of GFA per tenancy • shop where located at ground level and not exceeding 250m² of GFA per tenancy • short-term accommodation	Prohibited uses: • transport depot • warehouse
Industrial zone	
Appropriate uses: • food and drink outlet where located at ground level and not exceeding 250m² of GFA per tenancy • low impact industry and service industry • office • research and technology industry • shop where located at ground level and not exceeding 250m² of GFA per tenancy • showroom • warehouse	Prohibited uses: • accommodation activities • child care centre • shopping centre (>500m²)
Column 1 – Appropriate use	Column 2 – Prohibited uses
Mixed industry and business zone	
Appropriate uses: • food and drink outlet where located at ground level and not exceeding 250m² of GFA per tenancy • low impact industry • office	Prohibited uses: • accommodation activities except: ○ caretakers accommodation (<70m²) ○ dwelling unit (<70m²) ○ short term accommodation

- research and technology industry - service industry - shop where located at ground level and not exceeding 250m² of GFA per tenancy - showroom - warehouse	shopping centre (>500m²)
Sport and recreation zone	
Appropriate uses: - Club - Community use - Indoor sport and recreation - Outdoor sport and recreation - Park where not provided by public sector entity - shop where located at ground level and not exceeding 250m² of GFA per tenancy	Prohibited uses: - adult store - accommodation activities - low impact industry - medium impact industry - shopping centre (>500m²) - showroom - transport depot - warehouse
Open space zone	
Appropriate uses: - club - community use - park where not provided by public sector entity	Prohibited uses: - accommodation activities - business activities - low impact industry - medium impact industry - transport depot - warehouse
Special purpose (transport) zone	
Nil	Prohibited uses: - low impact industry - medium impact industry - transport depot - warehouse
Specialised centre (entertainment) zone	
Appropriate uses: - community use - indoor sport and recreation - office - outdoor sport and recreation - park where not provided by public sector entity - shop where located at ground level and not exceeding 250m² of GFA per tenancy	Prohibited uses: - shopping centre (>500m²) - warehouse

5.2 Schedule 2: PDA Accepted Development

Schedule 2 identifies development that is accepted in accordance with table 2 Column 1

Table 20 PDA Accepted Development

Building work
Minor building work, where not on a heritage place
Building work associated with an approved or accepted material change of use not on a heritage place.
Building work for demolishing a building or other structure where: - not on a heritage place, and - not within 10m of a heritage building on a heritage place.
Material change of use of premises
Making a material change of use of premises for: - Use by Sales office and display home - a public sector entity, and - Telecommunications facility – if underground cabling for broadband purposes.
Reconfiguring a lot
Reconfiguring a lot involving street widening and truncations required as a condition of PDA development approval.
Operational work
Operational work for filling or excavation (other than on a heritage place): - to a depth of one vertical metre or less from ground level on land to that is not referred to in Brisbane City Plan's Potential and Actual Acid Sulphate Soil Overlay Code, Wetlands Overlay Code and/or Waterway Corridors Overlay Code and where the site is not listed on the Contaminated Land Register or Environmental Management Register, or - where top dressing to a depth of less than 100 vertical millimetres from ground level on land that is not referred to in Brisbane City Plan's Wetlands Overlay Code and/or Waterway Corridors Overlay Code.
Operational work in accordance with the conditions of a PDA development approval.
Operational work associated with a material change of use that is PDA accepted development.
Operational work associated with the decontamination of land.
Operational work that is clearing of vegetation: - other than Significant vegetation, or - Significant vegetation where: - carried out by, or on behalf of Brisbane City Council or a public sector entity where the works being undertaken are authorised under a state law, or - in accordance with the conditions of a PDA development approval for a material change of use or reconfiguring a lot.

Erecting no more than one (1) satellite dish, where the satellite dish has no dimension greater than 1.8m, other than on a heritage place.

Placing an advertising device on premises.

Plumbing or drainage work

Carrying out plumbing or drainage work.

All aspects of development

Development prescribed in Schedule 6 of the *Planning Regulation 2017* other than part 3, section 18 and part 5, section 28.

Development prescribed in Schedule 7 of the *Planning Regulation 2017*.

Development for which a General Exemption Certificate or Exemption Certificate has been issued under the *Queensland Heritage Act 1992*.

All aspects of development including maintenance that are incidental to and necessarily associated with a park carried out by or on behalf of Brisbane City Council.

All aspects of development including maintenance that are incidental to and necessarily associated with the operation of the Royal Queensland Show.

All aspects of development for a utility installation or telecommunications facility of any development required for the purpose of that undertaking by way of:

1. development of any description at or below the surface of the ground
2. the installation of any plant inside a building or the installation or erection within the premises of a generating station of any plant or other structures or erections required in connection with the station
3. the installation or erection of an electricity distribution or supply network (and any components of such a network) which operates at voltages up to and including 33 kilovolts, excluding new substations
4. the installation or erection of a new electrical transmission line on land on which such a line has already been erected and which is identified as a future line on Plan No: A4H303666-
5. Powerlink Electricity Network and Plan No: 7775-A4/A-Energex 110kV Feeder Network
6. the augmentation of a Powerlink substation identified on Plan No: A4-H-303666-Powerlink Electricity Network and of any Energex substation existing as at the date this clause took effect
7. the placing of pipes above the surface of the ground for the supply of water, the installation in a water distribution system of booster stations and meter or switchgear houses - any other development not specifically referred to above except where it involves erection of new buildings or reconstruction or alteration of existing buildings that would materially affect their design or external appearance, and
8. any other development not specifically referred to above except where it involves erection of new buildings or reconstruction or alteration of existing buildings that would materially affect their design or external appearance.

Development involving a utility installation, is not accepted development where it involves:

1. the erection of new buildings
2. power generation plant where burning 100kg or more of fuel an hour
3. reconstruction or alteration of existing buildings that would materially affect their design or external appearance
4. waste handling, treatment and disposal facility, and
5. development on a heritage place.

5.3 Schedule 3: Transport, Access, Parking and Servicing

Schedule 3 is applicable to all development in the Bowen Hills PDA.

Table 21: Transport, Access, Parking and Servicing

Parking	Development provides sufficient parking for residents, employees, customers and visitors on site and does not negatively impact on adjoining sites or the quality and amenity of the streetscape. All parking is located internally to the site, is preferably located in basements and where basement parking is visible from the street frontage, it is appropriately screened by densely planted landscape. Vertically integrated parking is sleeved by active uses. Where parking on a secondary frontage cannot be sleeved with active uses, it must be screened through a combination of innovative architecture and densely planted landscape. All car parking areas are designed in accordance with the relevant requirements set out in Brisbane City Plan, Transport, Access, Parking and Servicing Planning Scheme Policy.
Parking rates	Multiple dwellings provide an average of 0.75 spaces per dwelling plus 0.15 visitor parking space per dwelling. All other development provides car parking consistent with the rates set in Brisbane City Plan, Transport, Access, Parking and Servicing Planning Scheme Policy, as amended and replaced from time to time.
Driveways and access	Development provides driveway crossovers and site access that is located and designed in accordance with the relevant requirements set out in Brisbane City Plan, Transport, Access, Parking and Servicing Planning Scheme Policy.
Servicing	<u>Storage and refuse areas</u> Building design and external storage and refuse areas must facilitate the efficient sorting and disposal of waste to maximise recycling opportunities. Development ensures that all storage and refuse areas: 1. are contained within the building footprint: or 2. not visible from the public realm (appropriately screened with landscape, fencing or similar), and 3. do not impact on the amenity of residents within or adjoining the development. <u>Loading and servicing areas</u> Development ensures that all loading and servicing areas: 1. are located to the rear or side of the property away from the street frontage 2. are integrated into the design of the building so that loading occurs internally, where practical 3. are screened with landscape or articulated built form, where visible from the street or from adjoining properties 4. are designed to enable all vehicles to exit loading and servicing areas in forward gear 5. occur with the vehicle completely contained within the site. No part of the vehicle should extend into the public road reserve

	6. should be designed to service a range of vehicle types in order to provide for flexibility, and 7. are of sufficient size and dimensions to avoid the use of car parks for temporary storage of goods.
Circulation	Development provides vehicle circulation that is designed in compliance with the relevant requirements set in Brisbane City Plan, Transport, Access, Parking and Servicing Planning Scheme Policy.
Pedestrian permeability	Development provides a well-defined entry point for pedestrians that is separated from vehicle entry and access to any dwelling's entrance.
Cycle access and parking facilities	Development delivers the cycle parking spaces at the rates set in Brisbane City Plan, Transport, Access, Parking and Servicing Planning Scheme Policy, as amended and replaced from time to time. All non-residential development and residential development of 6 or more dwellings provides cycle access and parking facilities in accordance with Australian Standards AS2890.3.

5.4 Schedule 4: Definitions

Unless defined below or in the *Economic Development Act 2012*, activity groups, use and administrative definitions from the Brisbane City Plan apply to all development in the Bowen Hills PDA.

Artisan food and drink industry

Means a building or place the principal purpose of which is the making or manufacture of boutique, artisan or craft food or drink products only. It must also include at least one of the following:

- (a) an ancillary retail area for the sale of the products; or
- (b) a hotel, bar, food and drink outlet; or
- (c) facilities for holding tastings, tours or workshops.

The manufacture of boutique, artisan or craft drink products must not exceed an annual throughput of 25,000 Litres of alcohol (LAL) for a distillery and 500 tonnes for a craft brewery.

Brisbane City Plan

Means the Brisbane City Council Planning Scheme, as amended and replaced from time to time.

Cross block link

Means a publicly accessible connection between two streets that may be covered or uncovered and may include an arcade or shared lane.

Heritage place

Means a place listed on either or both the Queensland Heritage Register or Brisbane City Plan Heritage Overlay, as amended and replaced from time to time.

High-water mark

Means high-water mark as defined by the *Coastal Protection and Management Act 1995*.

Interim use

An interim use is a land use that, because of its nature, scale, form or intensity, may not be an appropriate long term use of the land, but may be appropriate for a short or medium term period as the PDA develops.

Litres of alcohol

Litres of alcohol (LAL) means the volume of pure ethanol contained in a finished alcohol product, determined by multiplying the volume of the product by its alcohol by volume (ABV) percentage.

Significant vegetation Means all vegetation, except those listed as pest vegetation by state or local government, , including its root zone⁵⁸ that:

- i. is significant in its ecological value at local, state or national levels
- ii. maintains biodiversity
- iii. preserves natural landforms
- iv. contributes to the character of a landscape
- v. has cultural or historical value, or
- vi. has amenity value.

⁵⁸ The zone of the soil and roots described by the vertical projection of the foliage limit of the tree, to the depth of 1m and including buttress roots on and above the soil surface

5.5 Schedule 5: Heritage Places

Table 22 Heritage Places

Map 3 ref.	Heritage place name	Address	State listed heritage	Local listed heritage
1	Former Exhibition Building	480 Gregory Terrace, Bowen Hills	p	p
2	Brisbane Exhibition Grounds & Railway Station	574 Gregory Terrace, Bowen Hills	p	p
3	Bowen Park	O'Connell Terrace & Bowen Bridge Road, Bowen Hills	p	p
4	Drill Shed, Caretaker's cottage and Orderly room, Water Street	342 Water Street, Fortitude Valley	p	p
5	Jubilee Hotel	464-468 St Pauls Terrace, Fortitude Valley	p	p
6	Waiting shed (Bowen Park)	Bowen Bridge Road between O'Connell St & Herston Road, Bowen Hills		p
7	Brisbane Manor Hotel Tourist Private Hotel Motel	555 Gregory Terrace, Fortitude Valley		p
8	Sneyd Street Drain	67 Campbell to Alexandria Street, Street, Bowen Hills		p
9	Ardrossan Hall	33 Brookes Street, Bowen Hills		p
10	KM Smith - former Methodist parsonage	53 Brookes Street, Bowen Hills		p
11	'Kalmia'	5 Hamilton Place, Bowen Hills		p
12	7 Hamilton Pl	7 Hamilton Place, Bowen Hills		p
13	'Kings Lynn'	37 Jeays Street, Bowen Hills		p
14	36 Jeays St	36 Jeays Street, Bowen Hills		p
15	'Wyeverne'	34 Jeays Street, Bowen Hills		p
16	'Pymore'	19 Mallon Street, Bowen Hills		p
17	'Tufton House'	8 Tufton Street, Bowen Hills		p
18	'Abbotsleigh'	11-13 Abbotsford Road, Bowen Hills		p

Map 3 ref.	Heritage place name	Address	State listed heritage	Local listed heritage
19	'Abbotsford'	25 Abbotsford Road, Bowen Hills		p
20	'Merindah'	22 Cintra Road, Bowen Hills		p

5.6 Schedule 6: Amendments

Table 23 Amendments List

Amendment 1: 1 April 2010

page 19 - Conduits for future electricity cables are to be installed within all new streets, street widenings and upgrades. page 727 - map 9(a): Precinct 2 building heights

page 31 - As per map 9(a)

page 60 - (vi) State infrastructure funding will be sought through the normal budgetary processes and will be part of approved State agency capital programs

Amendment 2: 21 June 2019

An overall restructure of the development scheme.

Amendments to PDA wide criteria.

Restructure and redraft of the PDA zones and Precinct provisions.

Redraft of Infrastructure Plan, including reference to DCOP.

Redraft of Implementation Strategy.

Adoption of Brisbane City Plan definitions.

Redraft of Levels of assessment tables.

Redraft of exempt development provisions.

Adoption of Brisbane City Plan car parking standards.

Revision of development scheme mapping.

Industrial zone replaces the Medium impact employment zone.

Merging of into the Mixed use zone, Mixed use centre zone and Mixed use residential zone into a single Mixed use zone.

Introduction of the Mixed industry and business zone on select land in place of Mixed use zone and Industrial zone.

Introduction of the Sport and recreation zone, on select land in place of Civic and open space zone.

Open space zone replaces Civic and open space zone.

Special purpose (Transport) zone on select land in place of Complementary land zone, Mixed use zone and Mixed use centre zone.

Introduction of the Specialised centre (entertainment) zone in place of Mixed use zone.

Removal of the Residential very high intensity zone, Mixed use centre zone, Mixed use residential zone, Civic and open space zone and Complementary land zone.

Refinement of local area planning outcome sought for Precinct 1, 2, 3, 4, 5 and 6. Refinements include locations and alignments of road, cycle, pedestrian and public transport network items, locations for open spaces, plazas and public realm landscaping treatments.

To reflect changes made by the Economic Development and Other Legislation Amendment Act 2019, PDA self-assessable development and PDA exempt development have been changed to PDA accepted development.

Amendment 3: 9 December 2022

page 48 & 49 – 2.6.10 Categories of development for zones, Table 2A amended to remove ‘medium impact industry’ from Column 2 – Prohibited uses for the Mixed use zone and the Specialised centre (entertainment) zone.

DELIVERING
FOR QUEENSLAND



Queensland
Government

Economic Development Queensland

edq.qld.gov.au